

**Columbus School for Girls  
Proposed Addition and Renovation  
Phase 2 – Arts Addition**

Bexley, Ohio

**February 2013 Update for the Planning Commission**

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**Background Information**

Application #: 2010-006  
Location: 56 South Columbia Avenue  
Zoning: PUR, Planned Unit Residential District  
Request: Review and approve the final Phase 2 plans for the Columbus School for Girls Arts Addition, including final mechanical equipment screening, final detailed materials plans and elevations, final utility plan, final lighting plan, and final landscape/screening plan  
Applicant: DesignGroup (Keith DeVoe III, AIA) 515 E Main Street, Columbus, OH 43215  
Owner: Columbus School for Girls (Elizabeth Lee, Head of School) 56 South Columbia Avenue, Bexley, OH 43209

Two years ago the Planning Commission and Board of Zoning Appeals reviewed and recommended to Council approval of the Columbus School for Girls (CSG) Campus Master Plan in a joint meeting held on January 24, 2011. Bexley City Council approved the amended PUR plan and development text (Amended Ordinance No. 49-10) on January 25, 2011. Planning Commission and Board of Zoning Appeals recommendation for approval came with a set of eight (8) conditions, including:

- Condition #3: That architectural screening walls or building walls are provided to screen roof-top mechanicals;
- Condition #4: That details of mechanical equipment and necessary screening are submitted to the Planning Commission for review and approval; and
- Condition #8: That the development text require the following plans return to the Planning Commission for final approval of that phase prior to issuance of building permits:
  - a. Final Detailed Materials Plan
  - b. Final Utility Plan
  - c. Final Lighting Plan
  - d. Final Landscape and Screening Plan
  - e. Final Sign Plan

To meet these conditions, the applicant is returning to the Planning Commission for their review of these items related to Phase 2 of the project and to share some changes to the project design that have occurred and discuss how the above conditions are being met with the final revised design. The following design document update highlights the design refinements made. This information is intended to facilitate conversations with Bexley Planning Staff and the Planning Commission.

**Design Document Update**

Selected sheets from the final construction documents are attached for the Planning Commission's review and approval relative to Items 4 and 8 of the Record of Action (ROA) dated January 24, 2011.

The attached sheets are:

- 01 Existing Campus Plan – Phase 1
- 02 Existing Campus Plan – Phase 2
- 03A Site Demolition Plan, Sheet C1-1
- 03B Site Grading and Utility Plan, Sheet C3-1
- 04 Site Layout and Materials Plan, Sheet L1.0
- 05 Site Planting Plan, Sheet L2.0
- 06 Site Details, Sheet L3.0
- 07 Site Details, Sheet L3.1
- 08 Site Details, Sheet L3.2
- 09 First Floor Plan, Sheet A1-1
- 10 Roof Plan, A1-5
- 11 Exterior Elevations, Sheet A3-1

- 12 Building Sections, Sheet A3-6
- 13 3D Building Sections, A3-11
- 14 Roof HVAC Plan, H2-3
- 15 Electrical Site Plan, E1-1
- 16 Electrical Luminaire Schedule, E5-1
- 17 Aerial View From Southwest
- 18 Ground Level View From West (Columbia Avenue)
- 19 Ground Level View From Entrance Court
- 20 Aerial View of Entrance Court
- 21 Materials and Detailing

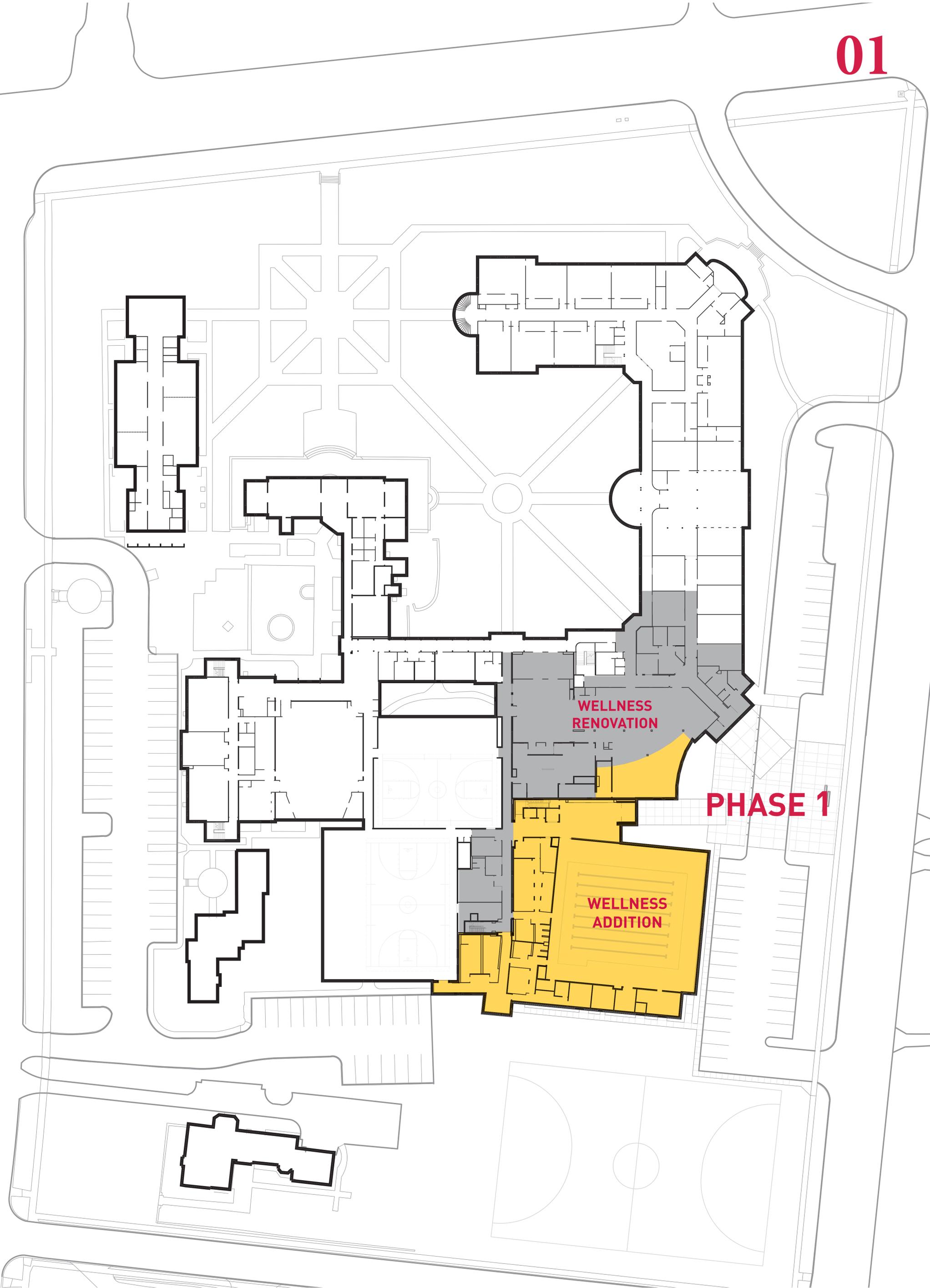
Overview of Substantive Design Changes and Refinements (since January 2011 approved submission)

THIS SECTION TO BE REVIEWED WITH PLANNING STAFF ON TUESDAY 2/12/13  
THEN AN UPDATED VERSION OF THIS DOCUMENT WILL BE SUBMITTED FOR INCLUSION  
IN THE PLANNING COMMISSION PACKAGE

Comments Regarding Conditions #3, #4, and #8

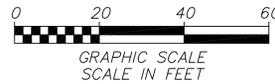
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3. Architectural Screening Walls or Building Walls Screen Roof-Top Mechanicals –
4. Details of Mechanical Equipment and Necessary Screening –
- 8.a. Final Detailed Materials Plan –
- 8.b. Final Utility Plan –
- 8.c. Final Lighting Plan –
- 8.d. Final Landscape and Screening Plan –
- 8.e. Final Sign Plan –



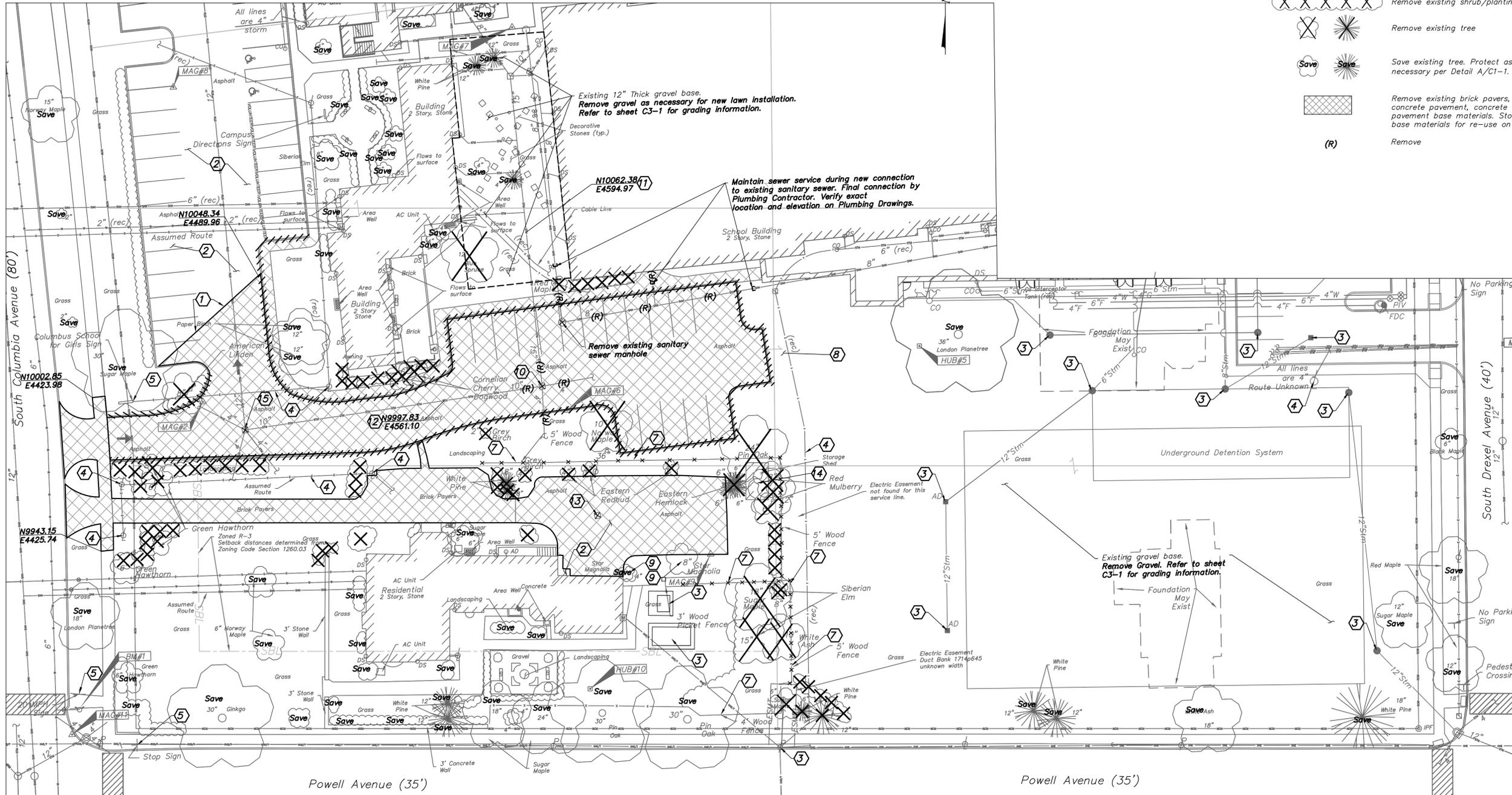
PHASE 2

ARTS ADDITION



**Demolition Legend**  
**Existing**  
 Refer to Topographic Survey Sheet TS1-0  
**Proposed**

- Remove and dispose of existing curb
- Remove existing shrub/planting bed
- Remove existing tree
- Save existing tree. Protect as necessary per Detail A/C1-1.
- Remove existing brick pavers, asphalt, concrete pavement, concrete sidewalk, and pavement base materials. Stockpile suitable base materials for re-use on site.
- Remove



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**STATE OF OHIO**  
**DANIEL N. BIRU**  
E-69385  
REGISTERED PROFESSIONAL ENGINEER  
2-7-2013

# DATE DESCRIPTION  
CLIENT  
**COLUMBUS SCHOOL FOR GIRLS**  
PHASE 2 ADDITION  
58 SOUTH COLUMBIA AVENUE  
COLUMBUS, OHIO 43209

SITE DEMOLITION PLAN  
commission no. 0906.00  
scale: AS NOTED:  
date: 02/07/2013  
revised:

**KORDANEMETH ENGINEERING, INC.**  
1850 WATERMARK DRIVE  
COLUMBUS, OHIO 43215  
DESIGNED BY  
**ZLS**  
DRAWN BY  
**ZLS**  
CHECKED BY  
**DMS**  
JOB FILE 2012-0002

**03 A**  
**C1-1**

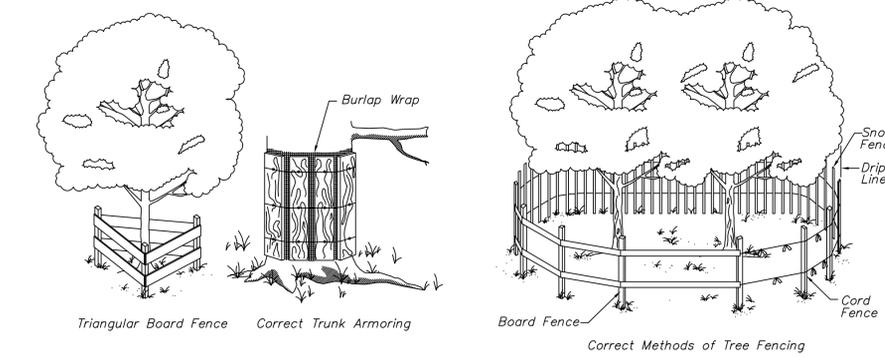
- General Notes**
- Remove all on-grade site features within the area of work including: sidewalks, curbs, all concrete foundations, and concrete and asphalt pavement.
  - Strip existing asphalt and gravel pavement base materials for on site re-use as proposed pavement base materials. Grind asphalt materials such that material matches gradation of ODOT Item 304. Pavement base materials not salvaged for re-use shall be removed and disposed off-site.
  - Saw cut, full depth, existing asphalt pavement and concrete curb where new work abuts existing construction. Use care to saw cut neat straight lines. When saw-cutting existing concrete, cut along existing joint lines wherever possible.
  - Legally dispose of all construction debris off-site in accordance with local codes. No on-site burning.
  - Confirm existing conditions prior to beginning work.
  - Contractor shall use caution to protect existing site features to remain. Replace any damage at no cost to the Owner.
  - Use all means necessary to control dust on site and prevent tracking soil off-site.
  - Protect existing pavement, utilities, buildings, foundations, and other site features to remain. Replace any damage to the satisfaction of the Owner at no additional cost to the Owner.
  - Refer to Architectural Drawings and Specifications for existing building demolition and protection.
  - Maintain sewer services during construction by bypass pumping.
  - Refer to plumbing drawing P2-1 for sanitary sewer connection.
  - All undamaged and cleaned bricks shall be stacked on pallets and securely wrapped, fastened, or boxed to pallets. Bricks shall be stacked no more than 8 high.

- Coded Notes**
- Saw-cut asphalt pavement with neat, straight lines. Refer to General Note 3, this sheet.
  - Protect existing pavement to remain.
  - Protect existing utility structure to remain.
  - Refer to Electrical Site Plan for schedule of electrical demolition and protection.
  - Protect existing sign to remain.
  - Remove existing sign and return to the Owner.
  - Remove existing fence and fence foundation and dispose offsite.
  - Relocate existing dumpster as shown on Landscape Plans.
  - Relocate existing tree per landscaping plans.
  - Remove existing storm sewer catch basin and associated piping. Refer to Coded Notes 11 and 12 for storm sewer removal limits.
  - Remove existing storm sewer line from this location and south to existing storm sewer catch basin.
  - Remove existing storm sewer line from this location and east to existing storm sewer catch basin.
  - Remove existing catch basin (french drain) and associated piping.
  - Remove existing storage shed and dispose offsite.
  - Remove catch basin. Associated piping to remain.

**Utility Demolition Note**

- Existing utilities shall not be removed or abandoned until new services have been installed, tested, and all final connections have been made.
- Utilities noted for abandonment may be removed and disposed of at the Contractor's option with no additional cost to the Owner.

**UNDERGROUND UTILITIES**  
Two Working Days  
**BEFORE YOU DIG**  
Call 800-362-2764 (Toll free)  
OHIO UTILITIES PROTECTION SERVICE  
NON-MEMBERS  
MUST BE CALLED DIRECTLY

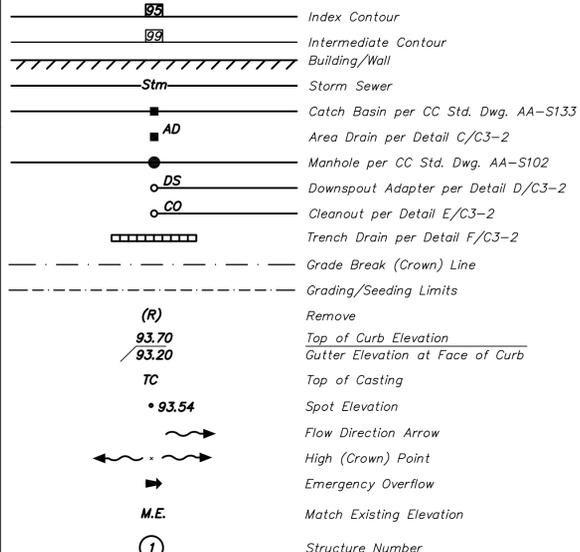


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JOB FILE 2012-0002

Storm Sewer Structure Table

Grading Legend Proposed

Structure Number	TC	Pipe	Pipe Direction	Invert
1	94.22	15" PROP	NE	88.39
		10" EX (R)	E (R)	88.29
		15" PROP	NE	88.70
2	92.70	15" PROP	SW	88.63
		6" PROP	SE	90.90
3	93.70	15" EX	N	88.99
		15" PROP	SW	88.89
		15" EX (R)	S (R)	88.99
4	91.60	12" PROP	NW	88.37
		10" PROP	E	88.47
5	92.00	6" PROP	NE	89.85
		10" PROP	W	89.75
6	90.92	4" EX	NW	88.81
		10" EX	E	88.08
		4" EX	SE	88.57
		4" EX	SW	88.57
		12" EX	N	88.07
7	89.90	8" PROP	W	88.10
		8" PROP	E	88.20
		12" EX	NE	90.10
EX2	93.00	12" EX	NE	90.10
EX3	93.00	12" EX	N	90.35



No.	Northing	Easting	Elevation	Description
Mag#1	10000.00	5000.00	792.47	Mag Nail Set
Mag#2	10000.00	4467.06	791.60	Mag Nail Set
Mag#3	10306.67	4893.42	793.51	Mag Nail Set
Mag#4	10150.35	4890.63	792.76	Mag Nail Set
Hub#5	10013.89	4747.00	793.53	Hub with Mag Nail
Mag#6	9992.75	4608.95	791.84	Mag Nail Set
Mag#7	10141.99	4591.66	794.21	Mag Nail Set
Mag#8	10122.37	4458.89	792.22	Mag Nail Set
Mag#9	9935.44	4663.37	792.28	Mag Nail Set
Hub#10	9884.46	4614.94	792.40	Hub with Mag Nail
Mag#11	9872.32	4614.94	787.88	Mag Nail Set

\*\* Coordinates are based on an arbitrary system.

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Two Working Days  
**BEFORE YOU DIG**

Call 800-362-2764 (Toll free)  
OHIO UTILITIES PROTECTION SERVICE

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Benchmarks*	NAVD 88
BM#1 792.28	Western Flange Bolt On North Side of North Fire Hydrant on S. Columbia

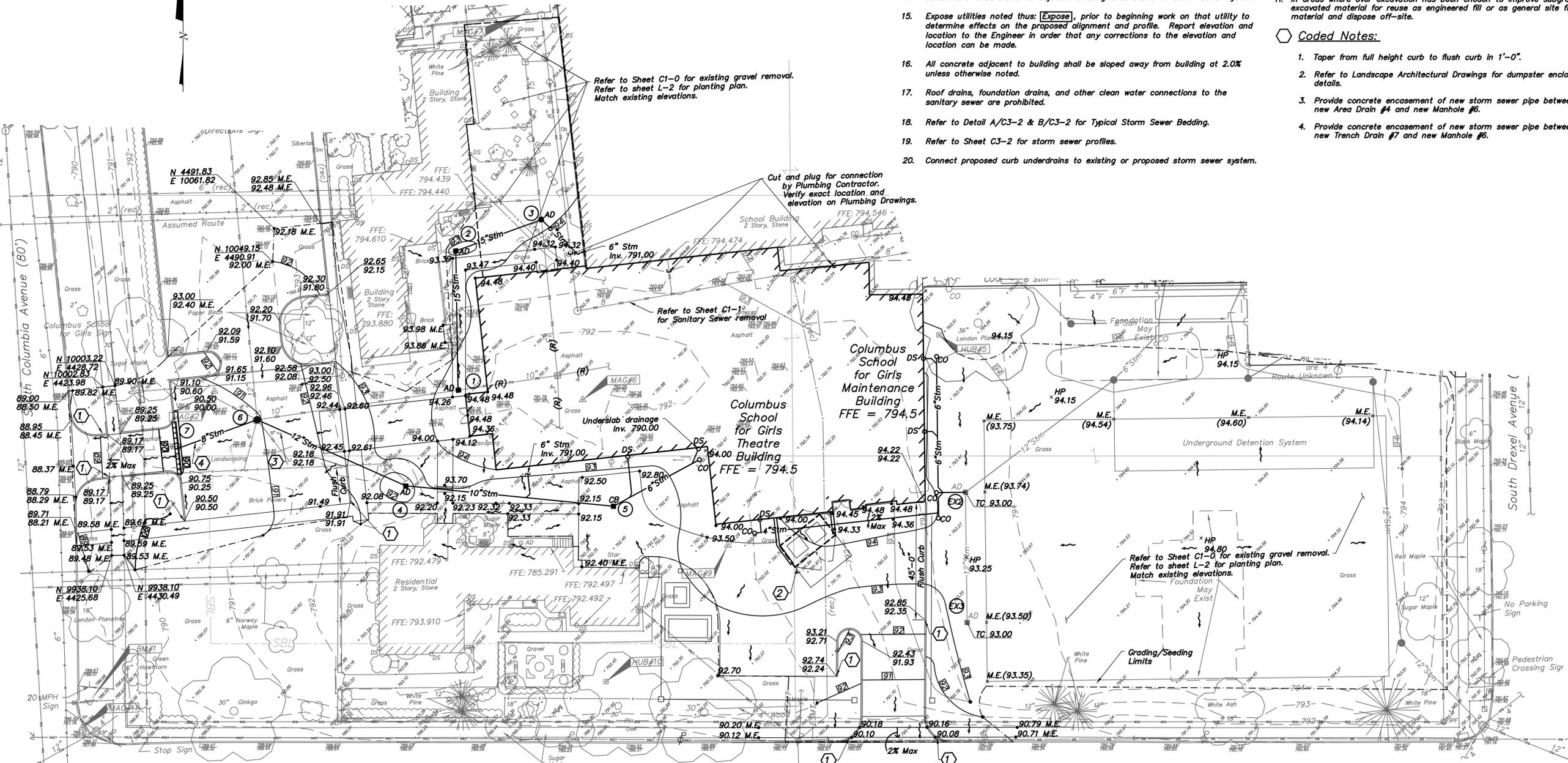
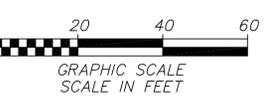
\*All Elevations are based on Franklin County Monument "Bexley" being a brass plaque on top of a 1 foot concrete square monument, at the southwest corner of East Broad Street and Westland Avenue having an elevation of 780.08.

General Notes:

- Provide 10' underdrains in four directions at all catch basins in pavement.
- All pavement elevations refer to finished pavement elevation at face of curb unless otherwise noted.
- Add 700.00 to all spot elevations to obtain U.S.G.S. elevations.
- No construction work will be permitted without approved plans and inspection.
- Perform all work in accordance with City of Columbus Material Specifications and Standard Construction Drawings. In case of a discrepancy between City of Columbus requirements and project specifications, City of Columbus standards shall govern.
- Soil erosion and sedimentation BMP measures shall be installed prior to start of any construction and shall be maintained at all times until construction has been completed, including all grass being well established and/or permanent erosion and sedimentation BMP measures in place. All BMP measures shall be to the satisfaction of the City of Bexley.
- Use all means necessary to control dust on the site and prevent tracking soil off site. Contractor shall, at the end of each working day, clean all dirt and sediment tracked onto streets.
- Remove sediment from detention areas, outlet structures, and all underdrains once final seed has been established.
- All dimensions and coordinates are to face of curb or face of building unless otherwise noted.
- Extend utilities to within 5'-0" of face of building unless otherwise noted. Coordinate exact location with Plumbing Contractor. Final connection by plumbing contractor.
- Maximum finish slopes shall be 4:1 unless otherwise noted.
- Contractor shall strip and stockpile existing topsoil throughout the site prior to excavation. Upon completion of final grading, provide 6 inches of topsoil and seed all areas disturbed by construction, including laydown areas and trailer locations if located outside the grading/seeding limits.
- All existing valves, manholes, and other appurtenances to remain located within the work limits shall be adjusted to finish grade.
- Outlet curb underdrains to adjacent existing underdrains or storm sewer system.
- Expose utilities noted thus: Expose, prior to beginning work on that utility to determine effects on the proposed alignment and profile. Report elevation and location to the Engineer in order that any corrections to the elevation and location can be made.
- All concrete adjacent to building shall be sloped away from building at 2.0% unless otherwise noted.
- Roof drains, foundation drains, and other clean water connections to the sanitary sewer are prohibited.
- Refer to Detail A/C3-2 & B/C3-2 for Typical Storm Sewer Bedding.
- Refer to Sheet C3-2 for storm sewer profiles.
- Connect proposed curb underdrains to existing or proposed storm sewer system.

Earthwork Notes:

- Refer to Geotechnical Consultants (GC) Inc. "Subsurface Exploration and Foundation Engineering Report", GCI Project #11-G-16084, dated March 3, 2011 for site soils information, of which shall be considered a part of these Contract Documents. Site preparation shall be per Specification Section 31 00 00, unless otherwise noted in the plans. Unsuitable and unstable soil conditions are anticipated and shall be remediated as indicated in the subparagraphs below. The Contractor shall measure and record amount of over excavation and shall verify quantities with the Testing Agency.
- Strip and stockpile any existing topsoil that may be encountered within proposed building footprint and pavement areas. Final stockpile location to be determined by the Contractor and approved by the Owner.
  - Demolish the existing structure and remove all building/foundation elements, utilities, pavements, etc. from below proposed construction areas. Provide protection against undermining adjacent structures, pavements, and utilities.
  - Subsequent to topsoil removal and excavation, and prior to fill placement, proof roll the exposed surface in the presence of the Testing Agency. Unsuitable and unstable soils encountered shall be over excavated and replaced with engineered fill, or otherwise improved as directed by the Testing Agency.
  - Building Areas:** Remove existing surface fill identified in GCI's Engineering Report from building footprint areas (0.6 to 2.2 feet) plus 5 feet laterally. Proof roll exposed soils in the presence of the Testing Agency. If the exposed soils are unstable, the Contractor shall over excavate the weak soils and replace with engineered fill, as directed by the Testing Agency. Over excavation and replacement of unsuitable and unstable materials encountered shall be paid on basis of the contract conditions relative to changes in work. The Contractor shall measure and record amount of over excavation and shall verify quantities with the Testing Agency. Refer to Specification Section 31 00 00 Paragraph 3.04, A.5.
  - Pavement Areas:** Prior to pavement construction, the subgrade shall be carefully proof-rolled, and stabilized as necessary to provide a CBR value of at least 3. If the exposed soils are unstable, the Contractor shall over excavate the weak soils and replace with engineered fill, as directed by the Testing Agency. Over excavation and replacement of unsuitable and unstable materials encountered shall be paid on basis of the contract conditions relative to changes in work. The Contractor shall measure and record amount of over excavation and shall verify quantities with the Testing Agency. Refer to Specification Section 31 00 00 Paragraph 3.04, A.5. At the Contractor's option, a system of geogrid and aggregate base materials may be considered in lieu of over excavation and replacement. This method must be reviewed and approved by the Testing Agency.
  - Place and compact fill in loose lifts (8 inches thick or less) to 98% optimum Standard Proctor dry density (ASTM-D698). The moisture content of new fill shall be controlled to within 3±% of optimum moisture content based on ASTM D-698.
  - Establishing the grades shown on this plan will result in an excess of soil material. Contractor shall confirm quantities and remove excess material from site at no additional cost to the Owner.
  - In areas where over excavation has been chosen to improve subgrade, stockpile suitable over excavated material for reuse as engineered fill or as general site fill. Haul unsuitable excavated material and dispose off-site.
- Coded Notes:**
- Taper from full height curb to flush curb in 1'-0".
  - Refer to Landscape Architectural Drawings for dumpster enclosure details.
  - Provide concrete encasement of new storm sewer pipe between new Area Drain #4 and new Manhole #6.
  - Provide concrete encasement of new storm sewer pipe between new Trench Drain #7 and new Manhole #6.



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fax 853 495.0859



#	DATE	DESCRIPTION
		CLIENT
		COLUMBUS SCHOOL FOR GIRLS
		PHASE 2 ADDITION
		58 SOUTH COLUMBIA AVENUE COLUMBUS, OHIO 43209
		SITE GRADING PLAN
		commission no. 0906.00 scale: AS NOTED: date: 02/07/2013 revised:

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**03 B**

C3-1

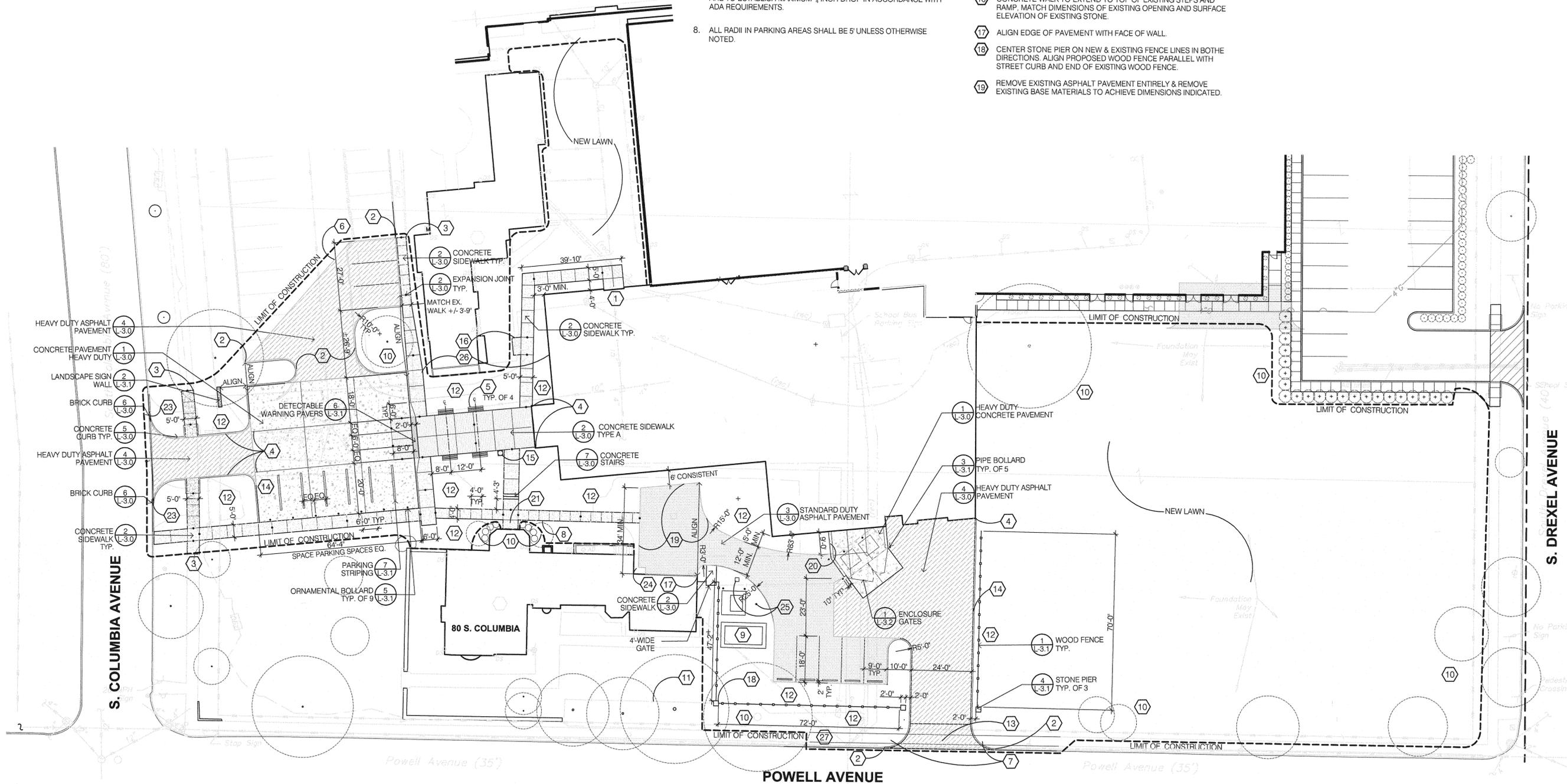
**GENERAL NOTES**

1. THIS SURVEY IS BASED UPON INFORMATION PROVIDED BY, KORDA 1650 WATERMARK DRIVE COLUMBUS, OHIO 43215 PHONE: 614-487-1650
2. ALL LAYOUT TO BE PERFORMED BY A REGISTERED SURVEYOR OR ENGINEER. THE OWNER'S REPRESENTATIVE WILL REVIEW THE LAYOUT FOR GENERAL CONFORMANCE PRIOR TO CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING UTILITIES RESULTING FROM CONSTRUCTION ACTIVITIES. CONTACT OHIO UTILITIES PROTECTION SERVICE AT 1-800362-2764 PRIOR TO COMMENCING WORK.
4. A COPY OF THE GEOTECHNICAL REPORT IS AVAILABLE FOR REFERENCE. CONFORM TO ALL RECOMMENDATIONS AND REQUIREMENTS OF THE SOIL ENGINEER'S REPORT.
5. IN THE EVENT THAT DISCREPANCIES ARISE BETWEEN WHAT IS SHOWN ON THE DRAWINGS AND ACTUAL FIELD CONDITIONS THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IMMEDIATELY FOR RESOLUTION.
6. ALL DIMENSIONS USING CURBS, BUILDING WALLS OR PAVEMENT AS A REFERENCE ARE FROM FACE OF CURB, FINISHED FACE OF BUILDING, FINISHED FACE OF WALL OR EDGE OF PAVEMENT, UNLESS NOTED OTHERWISE.
7. EXTERIOR PAVEMENT ELEVATIONS AT ALL ENTRANCES TO BUILDING ARE TO ESTABLISH MAXIMUM 1/4 INCH DROP IN ACCORDANCE WITH ADA REQUIREMENTS.
8. ALL RADII IN PARKING AREAS SHALL BE 5' UNLESS OTHERWISE NOTED.

**CONSTRUCTION NOTES - LAYOUT**

1. ALIGN EDGE OF CONCRETE WALK WITH EDGE OF DOOR OPENING.
2. ALIGN PROPOSED FACE OF CURB WITH EXISTING FACE OF CURB.
3. ALIGN EDGE OF PROPOSED WALK WITH EXISTING EDGE OF WALK.
4. ALIGN EDGE OF PAVEMENT WITH FACE AND/OR OF CORNER BUILDING WALL.
5. BENCH OVER 74" X 28" CONCRETE PAD.
6. SAWCUT STRAIGHT AND VERTICAL EDGE ON EXISTING ASPHALT PAVEMENT TO PROVIDE FOR A CLEAN, SOUND EDGE TO RECEIVE NEW ASPHALT OR CURB. PROVIDE TACK COAT ON EXPOSED VERTICAL FACE OF SAWCUT PRIOR TO NEW PAVING INSTALLATION. HEAT WELD JOINT.
7. NEW CURB RAMP, SEE DETAIL F SHEET C2-1. CONCRETE PAVEMENT TO ALIGN VERTICALLY AND HORIZONTALLY WITH EXISTING SIDEWALK.
8. SOUTH EDGE OF WALK MATCHES SOUTH EDGE OF EXISTING DRIVEWAY.
9. EXISTING TRANSFORMER AND GENERATOR LOCATION.
10. EXISTING TREES AND SHRUBS TO REMAIN AND TO BE PROTECTED.
11. PROTECT EXISTING WOOD FENCE TO REMAIN.
12. PLANT BED, PROVIDE 24" DEPTH PLANTING SOIL MIX.
13. NEW HEAVY-DUTY CONCRETE DRIVE APRON.
14. TRANSITION FLUSH CURB TO FULL HEIGHT WITHIN 6 FEET.
15. LITTER RECEPTACLE ON 30" BY 30" CONCRETE PAD.
16. CONCRETE WALK TO EXTEND TO TOP OF EXISTING STEPS AND RAMP. MATCH DIMENSIONS OF EXISTING OPENING AND SURFACE ELEVATION OF EXISTING STONE.
17. ALIGN EDGE OF PAVEMENT WITH FACE OF WALL.
18. CENTER STONE PIER ON NEW & EXISTING FENCE LINES IN BOTH DIRECTIONS. ALIGN PROPOSED WOOD FENCE PARALLEL WITH STREET CURB AND END OF EXISTING WOOD FENCE.
19. REMOVE EXISTING ASPHALT PAVEMENT ENTIRELY & REMOVE EXISTING BASE MATERIALS TO ACHIEVE DIMENSIONS INDICATED.

20. SEE ARCHITECTURAL PLANS FOR ENCLOSURE WALLS DIMENSIONS AND DETAILS.
21. PROTECT EXISTING CONCRETE PAD AT DOOR TO REMAIN.
22. FLUSH CONCRETE CURB.
23. BEGIN BRICK CURB AT POINT OF CURVATURE.
24. EXISTING CONCRETE PAVEMENT TO REMAIN.
25. EXISTING METER AND THREE BOLLARDS TO REMAIN.
26. SIDEWALK TO BE PARALLEL TO BUILDING FACE.
27. PROTECT EXISTING GUYWIRES TO REMAIN.



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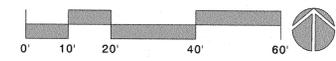


**CLIENT**  
**COLUMBUS SCHOOL FOR GIRLS**  
ADDITION AND RENOVATION

56 South Columbia Avenue  
Columbus, OH 43209

**LAYOUT & MATERIALS PLAN**

commission no. 0906.00  
scale:  
date: 02-07-2013  
revised:



GENERAL NOTES

- THIS SURVEY IS BASED UPON INFORMATION PROVIDED BY, KORDA 1650 WATERMARK DRIVE COLUMBUS, OHIO 43215 PHONE: 614-487-1650
- ALL TOPSOIL PREPARATION, SEEDING, AND PLANTING TO BE BY LANDSCAPE CONTRACTOR.
- STAKE PLANT LOCATIONS AND SECURE LANDSCAPE ARCHITECTS APPROVAL PRIOR TO DIGGING.
- EACH CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES.
- IN THE EVENT OF A DISCREPANCY BETWEEN PLANT QUANTITIES AS NOTED AND AS DRAWN, THE PLAN SHALL TAKE PRECEDENCE.
- ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL SHRUB MASSES TO BE INCORPORATED BY CONTINUOUS MULCH BED TO LIMITS SHOWN AND AS SPECIFIED.
- ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDED. SEE SPECIFICATIONS.

CONSTRUCTION NOTES

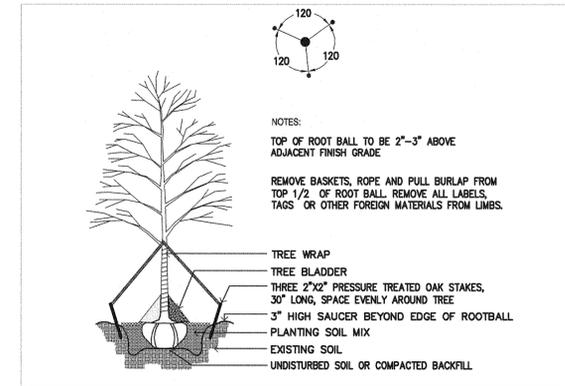
- LAWN AREA, PROVIDE MINIMUM DEPTH 6" TOPSOIL. MEET ADJACENT SURFACES FLUSH. PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES AND SEED.
- LANDSCAPE AREA, PROVIDE MINIMUM DEPTH 24" PLANTING SOIL ACROSS BED, IN ADDITION TO PLANTING SOIL REQUIRED FOR INDIVIDUAL PLANTS AS SHOWN IN PLANTING DETAILS ON THIS SHEET. MEET ADJACENT SURFACES FLUSH. PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.

PLANT LIST

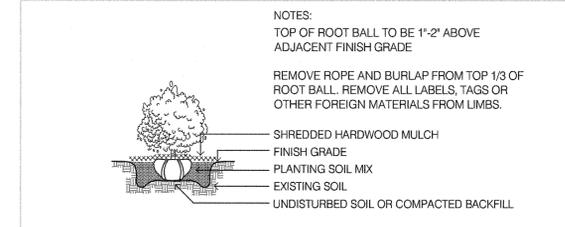
CODE	BOT. NAME/ COMMON NAME	SIZE	CONDITION	SPACING	CODE	BOT. NAME/ COMMON NAME	SIZE	CONDITION	SPACING
<b>DECIDUOUS &amp; ORNAMENTAL TREES</b>					<b>SHRUBS CONT.</b>				
AC FR	ACER X FREEMANII FREEMAN MAPLE	2" CAL.	B+B	AS SHOWN	TH OC	THUJA OCCIDENTALIS 'NIGRA' DARK GREEN ARBORVITAE	8' HT	B+B	AS SHOWN
AM LA	AMELANCHIER LAEVIS ALLEGHENY SERVICEBERRY	2" CAL.	B+B SINGLE STEM	AS SHOWN	TH TE	THUJA OCCIDENTALIS 'TECHNY' TECHNY ARBORVITAE	8' HT	B+B	AS SHOWN
CA BE	CARPINUS BETULUS EUROPEAN HORNBEAM	2.5" CAL.	B+B	AS SHOWN	VI CA	VIBURNUM CARLESII KOREANSPICE VIBURNUM	30" HT	#5 CONT.	AS SHOWN
MA SO	MAGNOLIA X SOULANGIANA 'RUSTICA RUBRA' SAUCER MAGNOLIA	1.5" CAL.	B+B	AS SHOWN	VI LA	VIBURNUM LANTANA 'MOHICAN' MOHICAN VIBURNUM	48" HT	B+B	AS SHOWN
<b>SHRUBS</b>					<b>GROUNDCOVER AND PERENNIALS</b>				
BU GV	BUXUS SEMPERVIRENS 'GREEN VELVET' GREEN VELVET BOXWOOD	24" HT	B+B	AS SHOWN	LI SP	LIRIOPE SPICATA CREEPING LILYTURF	--	2 1/2" PP/FLATS	8" O.C.
SY ME	SYRINGA MEYERI MEYER LILAC	24" HT	#5 CONT.	AS SHOWN	GE BF	GERANIUM 'ROZZANE' ROZZANE HARDY GERANIUM	--	#1 POT	24" O.C.
TA DE	TAXUS X MEDIA 'DENSIFORMIS' DENSE SPREADING YEW	36" HT	B+B	AS SHOWN	AN HY	ANEMONE X HYBRIDA 'WHIRLWIND' WHIRLWIND JAPANESE ANEMONE	--	#1 POT	24" O.C.
TA EV	TAXUS X MEDIA 'EVERLOW' EVERLOW YEW	18" HT	B+B	AS SHOWN	AC FI	ACHILLEA 'MOONSHINE' MOONSHINE YARROW	--	#1 POT	24" O.C.
TA HI	TAXUS X MEDIA 'HICKSI' HICKS YEW	36" HT	B+B	AS SHOWN	<b>BULBS</b>				
					NAR	NARCISSUS 'STAINLESS' STAINLESS DAFFODIL	--	12-14 CM	12" O.C.

LEGEND

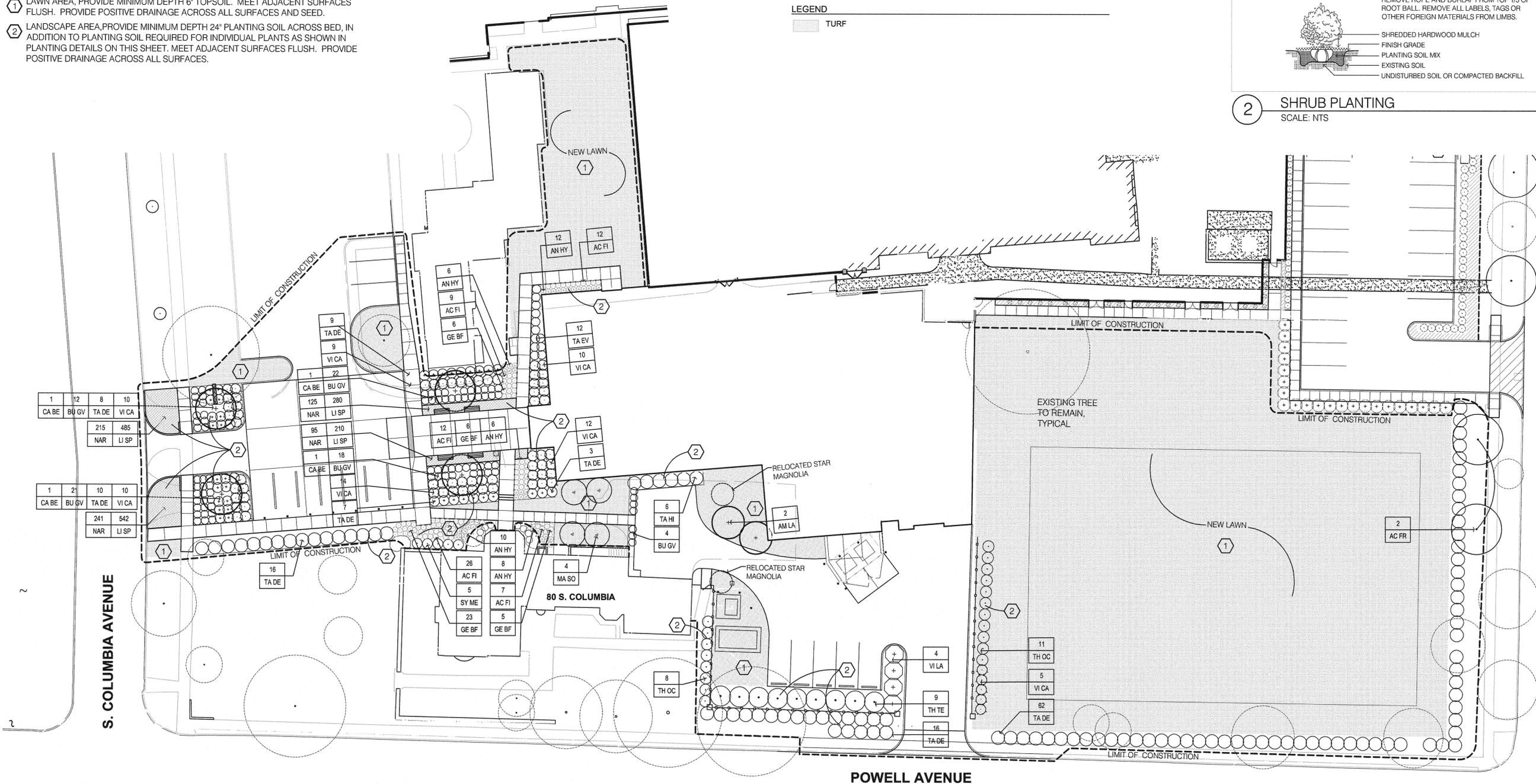
TURF

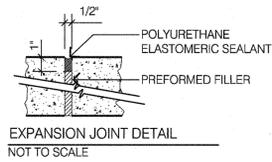


1 TREE PLANTING  
SCALE: NTS

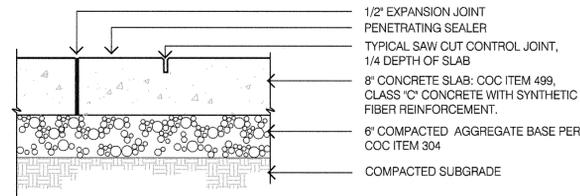


2 SHRUB PLANTING  
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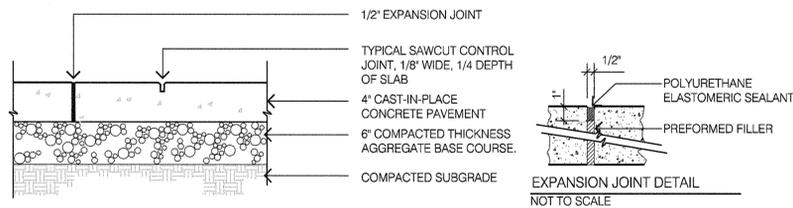




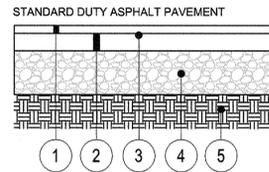
EXPANSION JOINT DETAIL  
NOT TO SCALE



1 CONCRETE PAVEMENT - HEAVY DUTY  
SCALE: 1" = 1'-0"

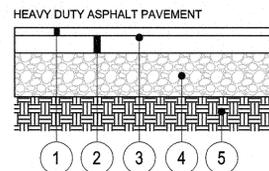


2 CONCRETE SIDEWALK - STANDARD DUTY  
SCALE: 1" = 1'-0"



- 1 ITEM 448 - 1 1/4" ASPHALT CONCRETE SURFACE COURSE, TYPE 1, MEDIUM TRAFFIC, PG 64-22
- 2 ITEM 448 - 1 3/4" ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 2, MEDIUM TRAFFIC, PG 64-22
- 3 ITEM 407 - TACK COAT APPLIED @ 0.10 GAL./S.Y.
- 4 ITEM 304 - 8" AGGREGATE BASE
- 5 ITEM 204 - COMPACTED UBGRADE

3 ASPHALT PAVEMENT - STANDARD DUTY  
SCALE: NTS

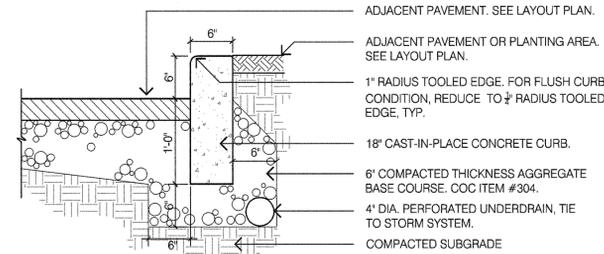


- 1 ITEM 448 - 2" ASPHALT CONCRETE SURFACE COURSE, TYPE 1, MEDIUM TRAFFIC, PG 64-22
- 2 ITEM 448 - 3" ASPHALT CONCRETE SURFACE COURSE, TYPE 1, MEDIUM TRAFFIC, PG 64-22
- 3 ITEM 407 - TACK COAT APPLIED @ 0.10 GAL./S.Y.
- 4 ITEM 304 - 10" AGGREGATE BASE
- 5 ITEM 204 - COMPACTED SUBGRADE

4 ASPHALT PAVEMENT - HEAVY DUTY  
SCALE: NTS

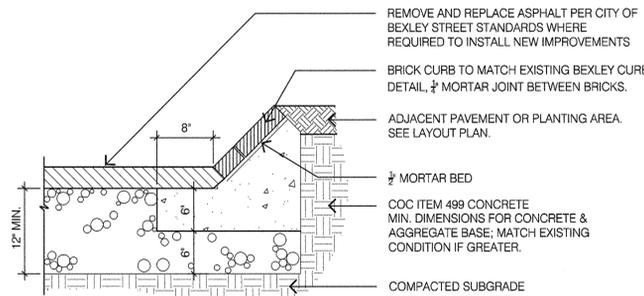
NOTES: EXPANSION AND CONTROL JOINTS AS SPECIFIED.

PROVIDE LIGHT BROOM FINISH ON ALL CONCRETE SURFACES AFTER JOINT & EDGE TOOLING.



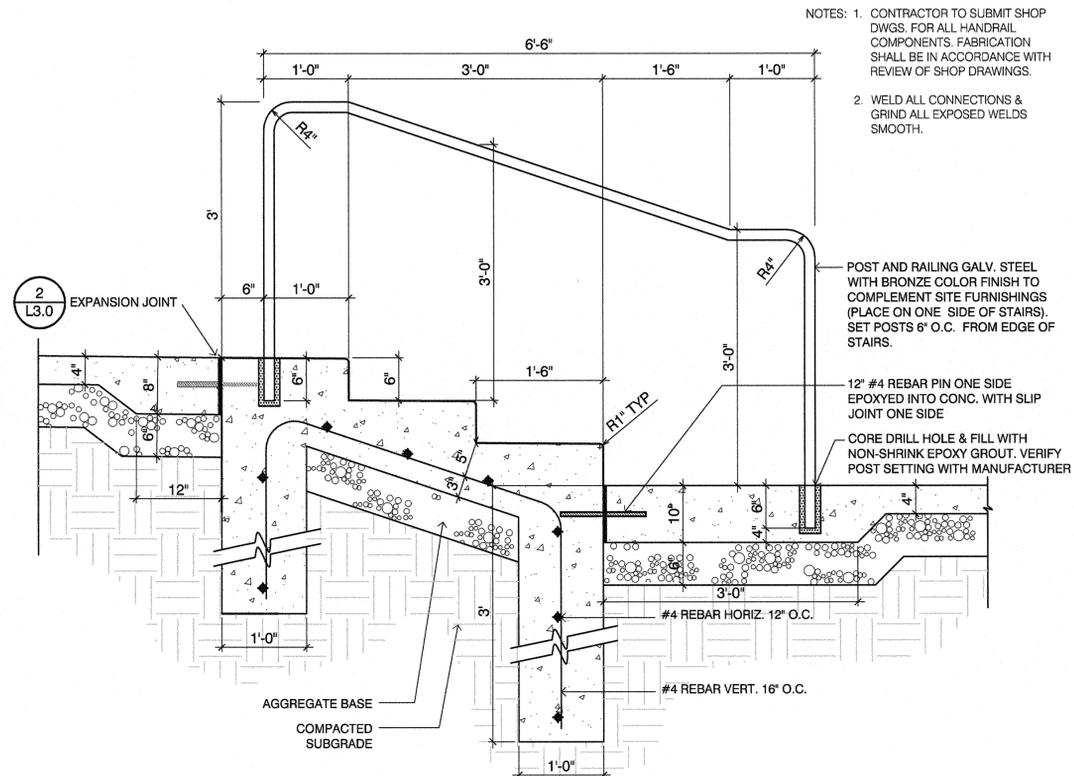
5 CONCRETE CURB  
SCALE: NTS

NOTE: WHERE 6" CONCRETE CURB IS TO MEET BRICK CURB, TRANSITION CONCRETE CURB PROFILE AND GRADE TO MATCH PROFILE AND GRADE OF BRICK CURB, WITHIN 3' OF THE INTERSECTION



6 BRICK CURB  
SCALE: 1" = 1'-0"

NOTES: 1. CONTRACTOR TO SUBMIT SHOP DWGS. FOR ALL HANDRAIL COMPONENTS. FABRICATION SHALL BE IN ACCORDANCE WITH REVIEW OF SHOP DRAWINGS.  
2. WELD ALL CONNECTIONS & GRIND ALL EXPOSED WELDS SMOOTH.



7 CONCRETE STEPS  
SCALE: 1" = 1'-0"



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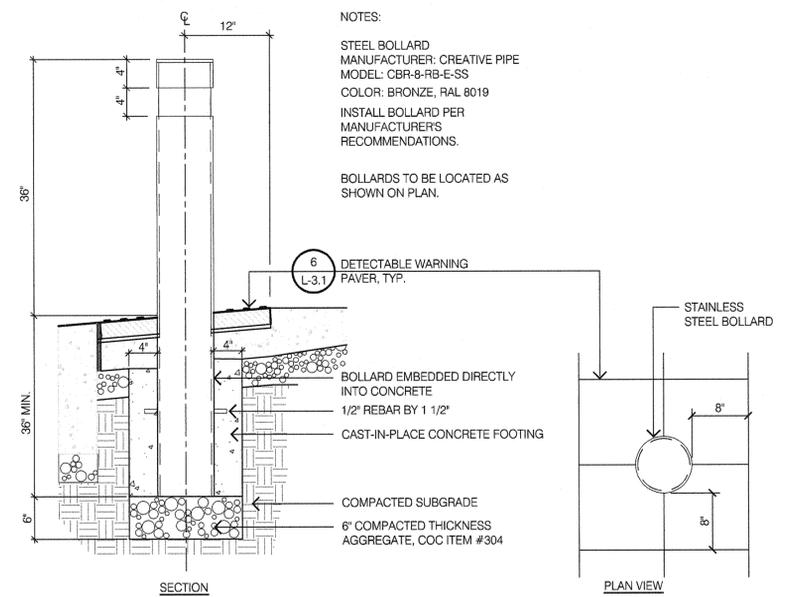
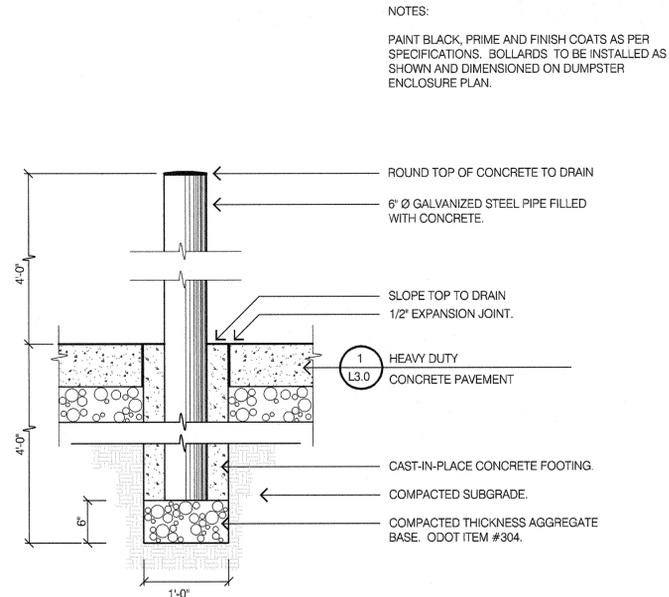
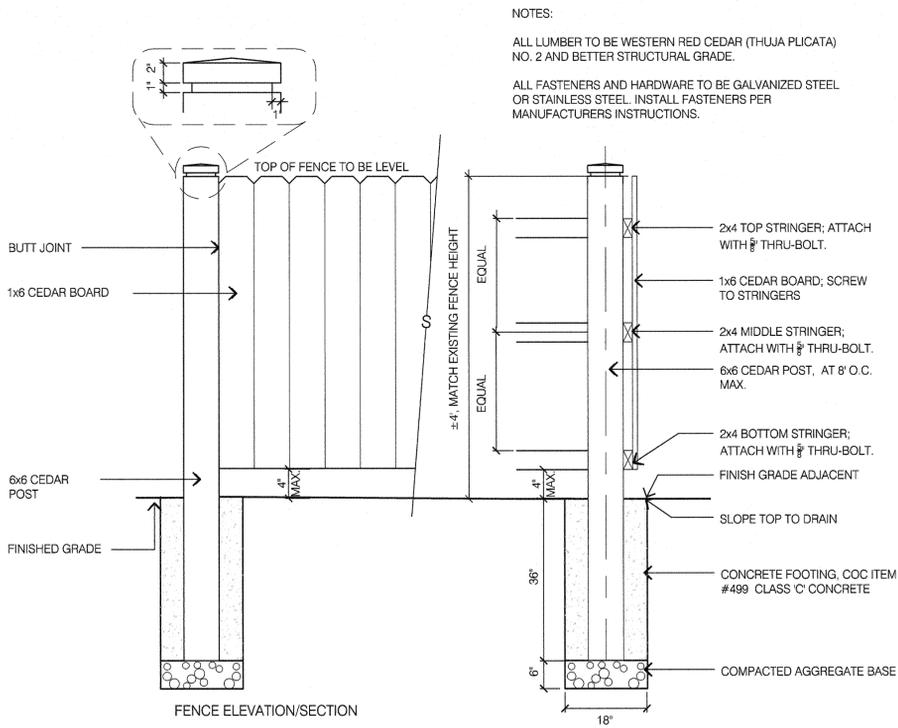
56 South Columbia Avenue  
Columbus, OH 43209

SITE DETAILS

commission no. 0906.00  
scale:  
date: 02-07-2013  
revised:

06

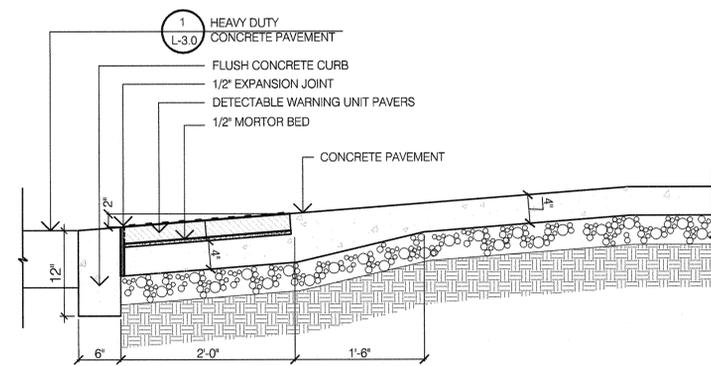
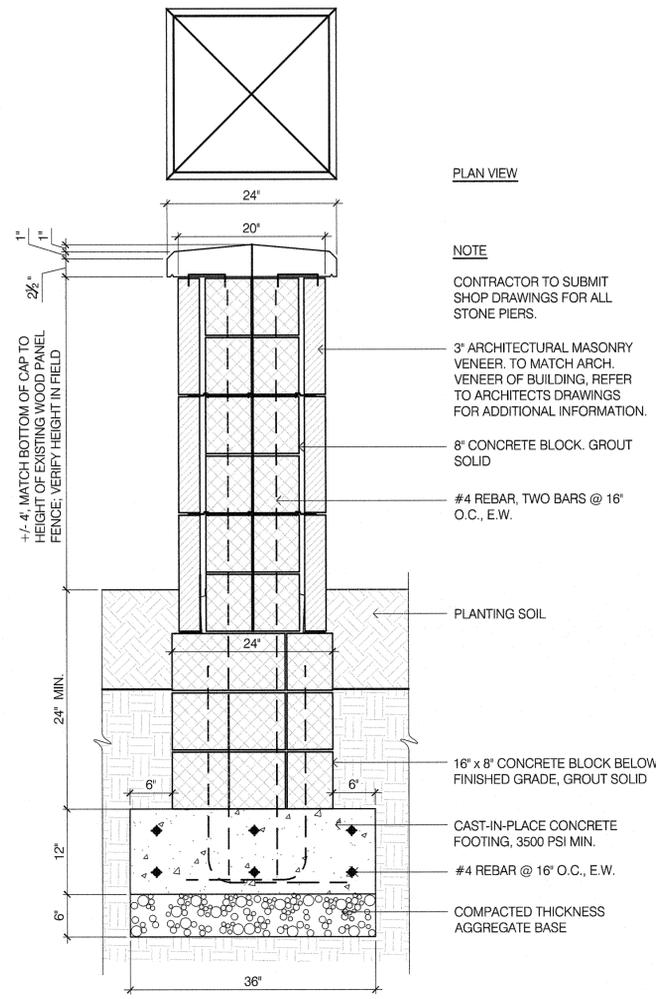
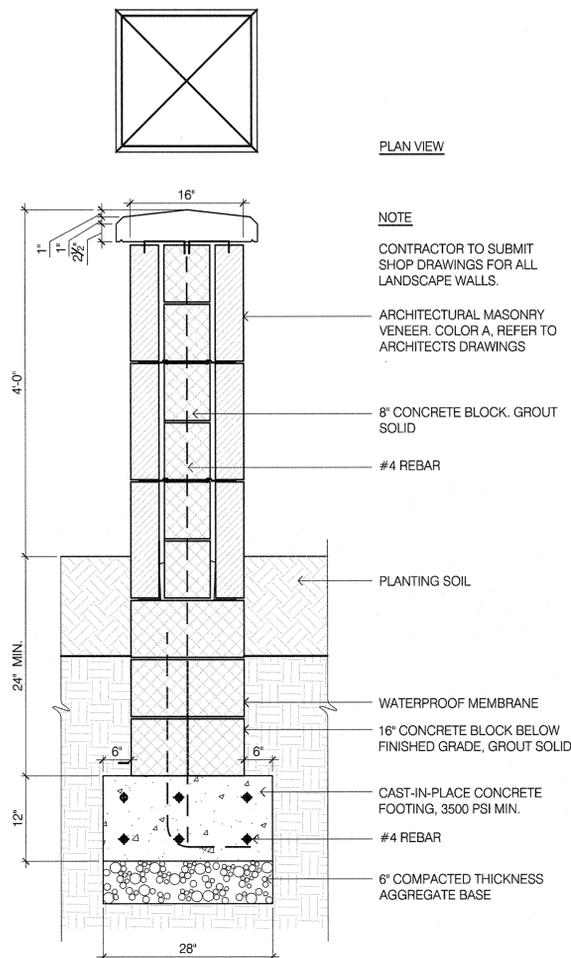
L-3.0



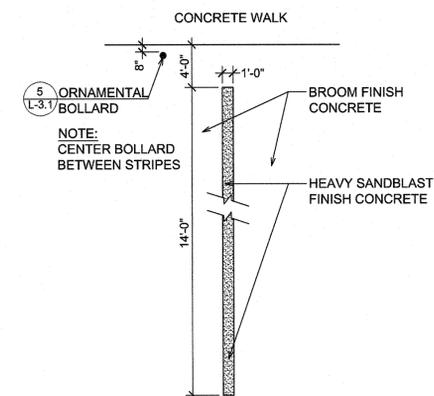
1 WOOD FENCE  
SCALE: NTS

3 PIPE BOLLARD  
SCALE: 1" = 1'-0"

5 ORNAMENTAL BOLLARD  
SCALE: 1" = 1'-0"



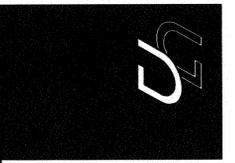
6 DETECTABLE WARNING PAVERS  
SCALE: 1" = 1'-0"



7 PARKING STRIPE DETAIL (PLAN)  
SCALE: 1/8" = 1'-0"

2 LANDSCAPE SIGN WALL  
SCALE: NTS

4 STONE PIER  
SCALE: NTS



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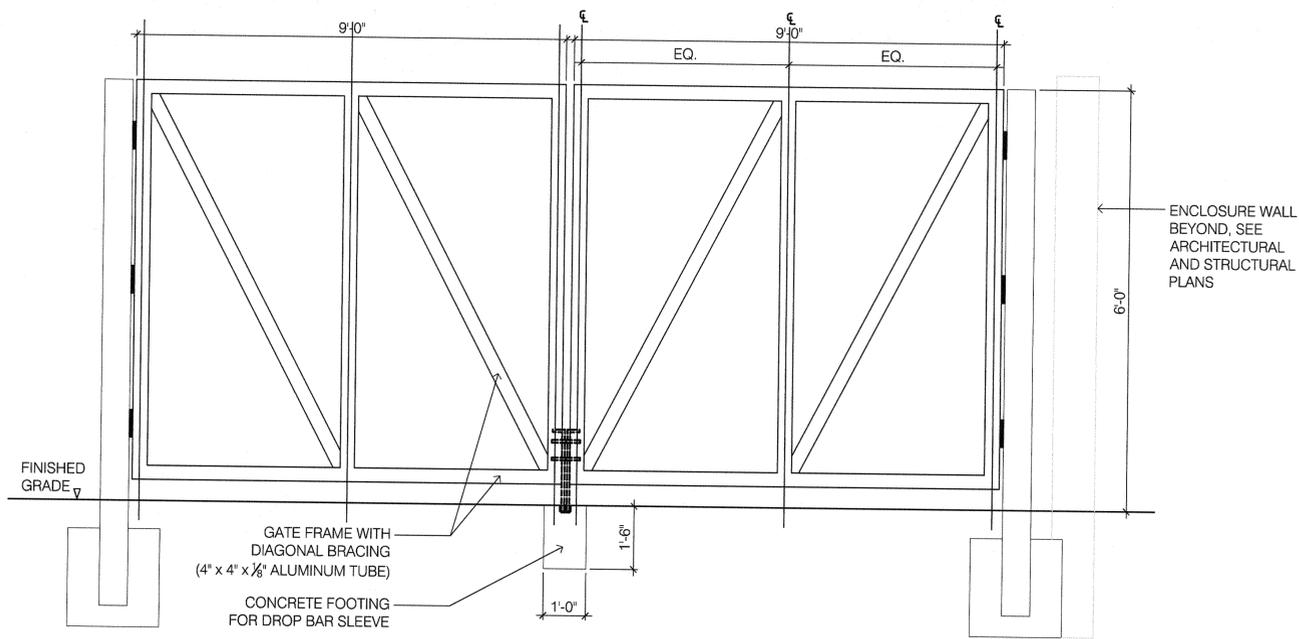
56 South Columbia Avenue  
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**SITE DETAILS**

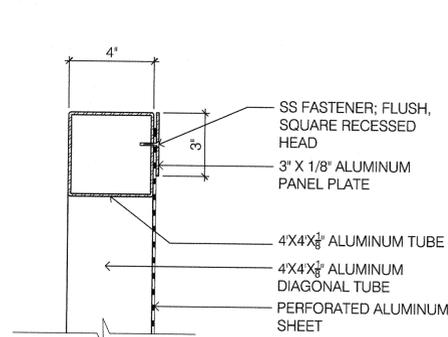
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**07**

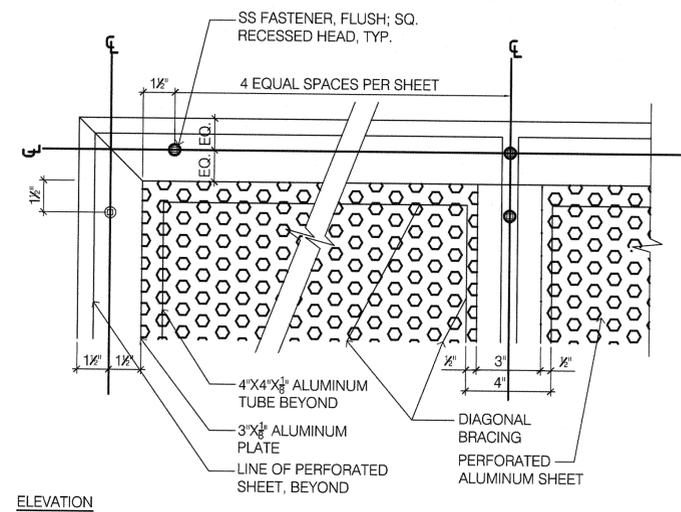
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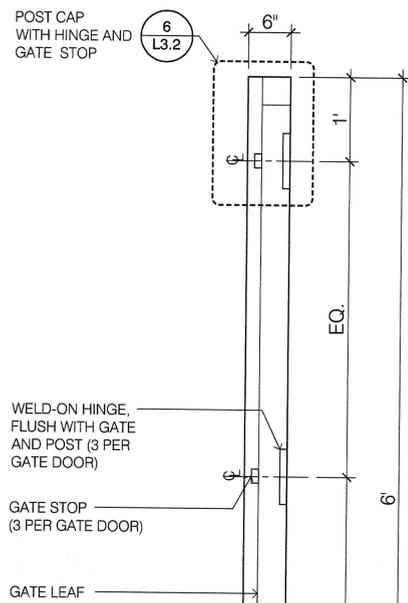
**1 TRASH ENCLOSURE GATE FRAME**  
SCALE: 1/2" = 1'-0"



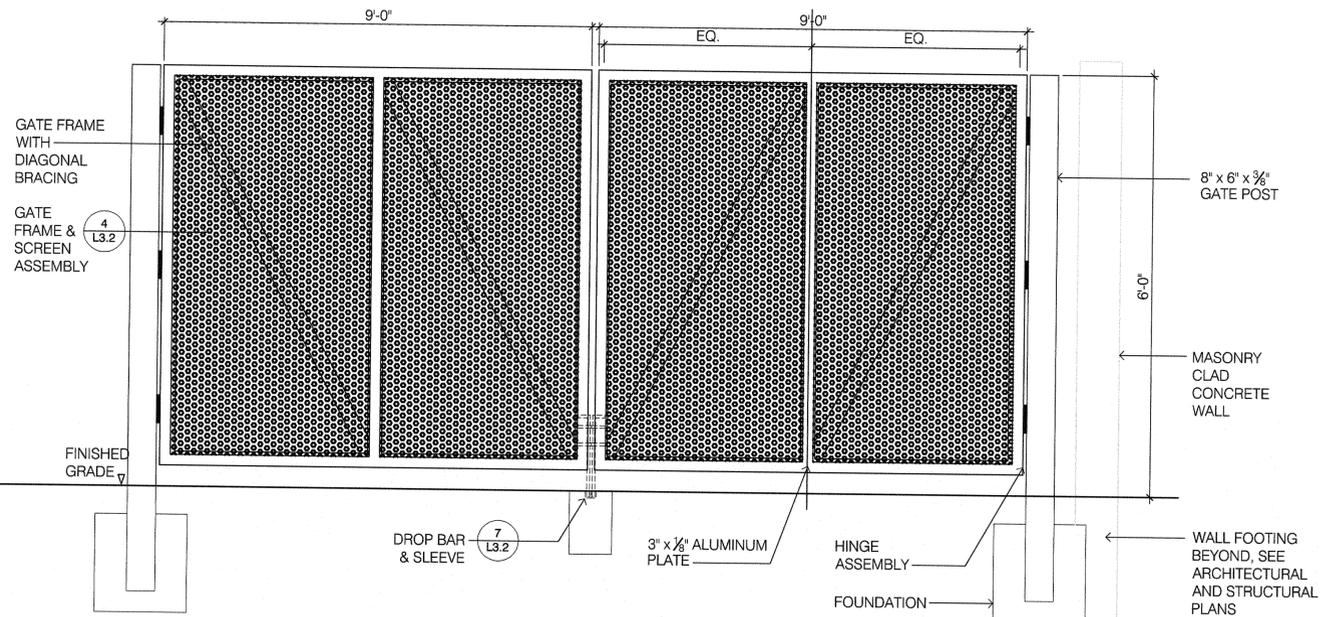
**4 PERFORATED METAL SCREEN ASSEMBLY (TYPICAL)**  
SCALE: 3" = 1'-0"



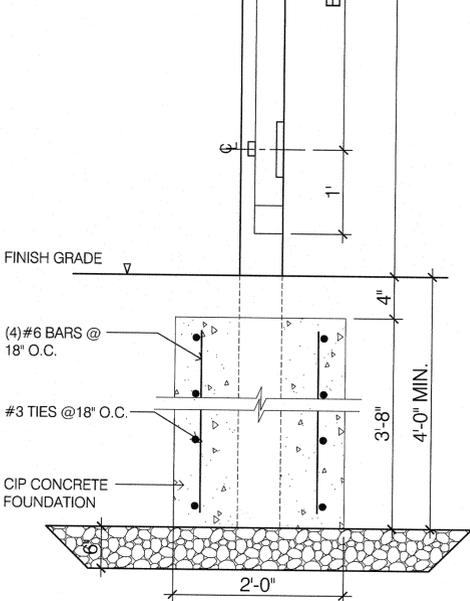
ELEVATION



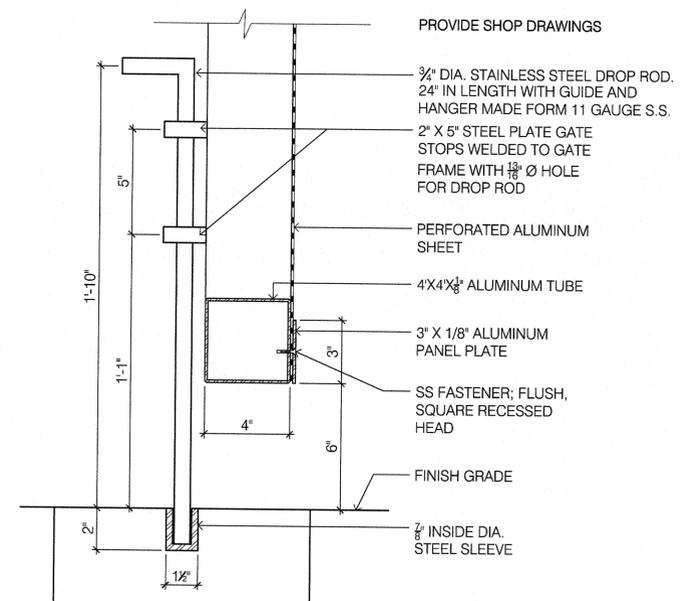
**6 POST CAP WITH HINGE AND GATE STOP**  
SCALE: 1" = 1'-0"



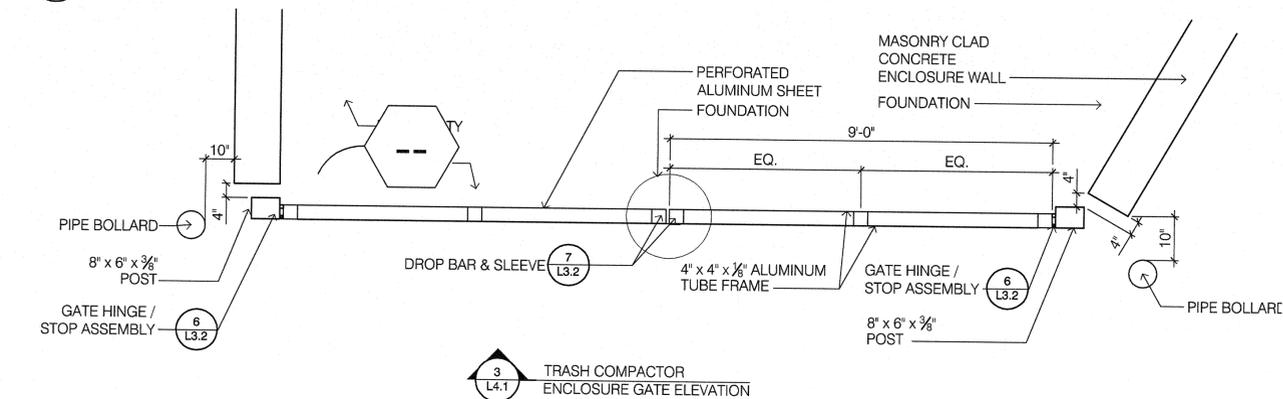
**2 TRASH ENCLOSURE GATE FRAME (ELEVATION)**  
SCALE: 1/2" = 1'-0"



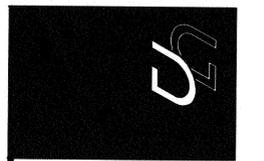
**5 TRASH ENCLOSURE POST FOOTING**  
SCALE: 1" = 1'-0"



**7 DROP BAR AND SLEEVE WITH GATE STOP**  
SCALE: 3" = 1'-0"



**3 TRASH ENCLOSURE GATE - PLAN**  
SCALE: 1/2" = 1'-0"



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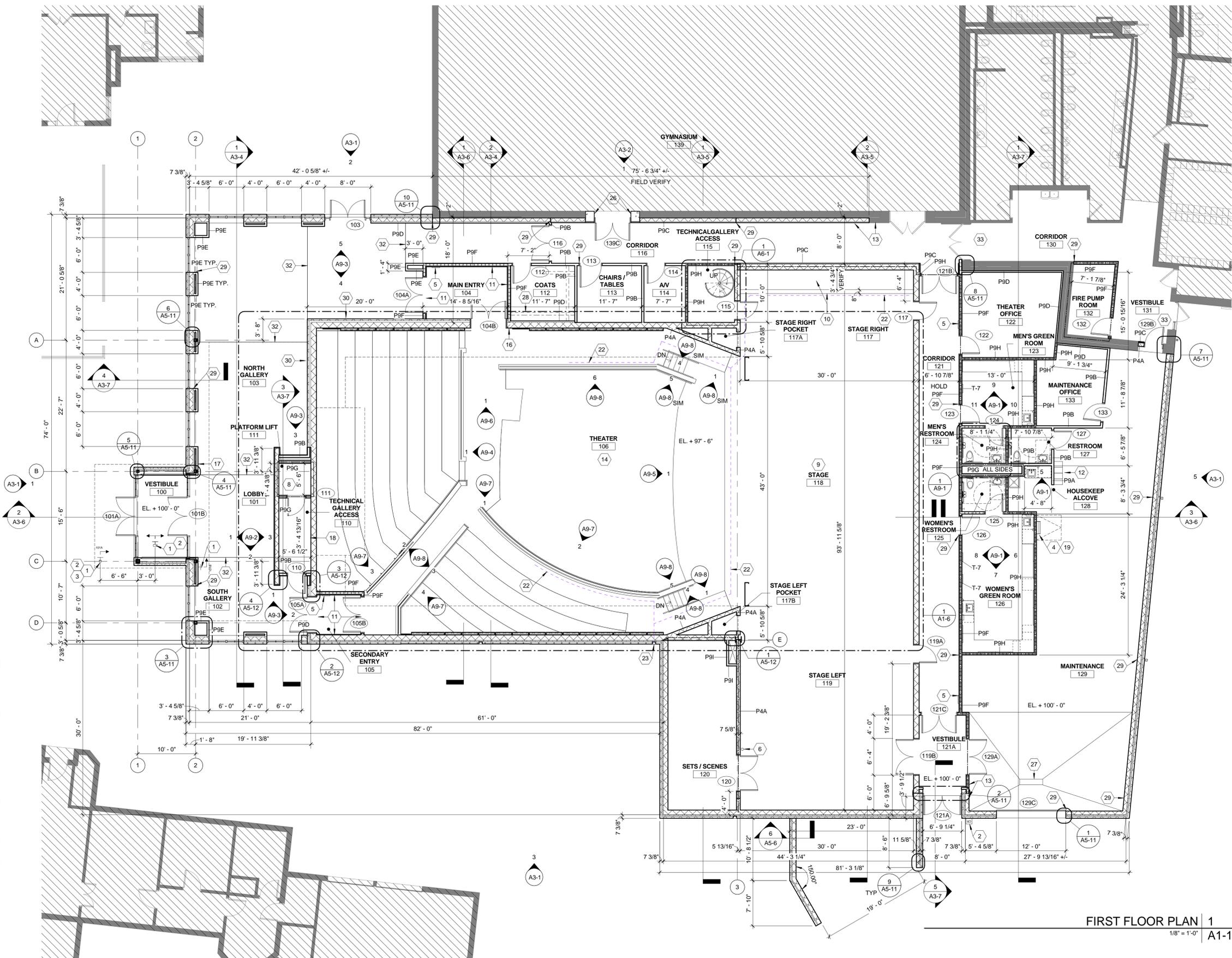
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scale:  
date: 02-07-2013  
revised:

**08**

L-3.2

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FIRST FLOOR PLAN 1  
1/8" = 1'-0" A1-1

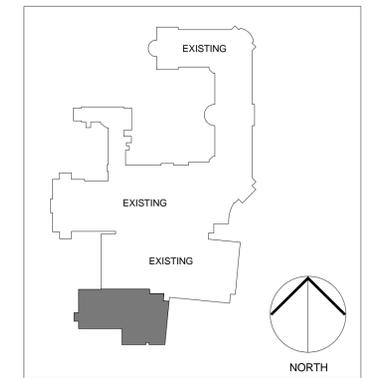
GENERAL NOTES - NEW CONSTRUCTION

- REFER TO THE COVER SHEET FOR ADDITIONAL GENERAL NOTES.
- REFER TO LS SERIES DRAWINGS AND PARTITION SCHEDULE SHEET A7-1 FOR RATED PARTITION LOCATIONS AND ADDITIONAL INFORMATION.
- CONTRACTOR TO PROVIDE BLOCKING IN PARTITIONS FOR PARTITION MOUNTED ITEMS AS INDICATED. CONTRACTOR ALSO TO COORDINATE QUANTITY AND LOCATIONS WITH THE OWNER FOR OWNER FURNISHED / CONTRACTOR INSTALLED ITEMS.
- PARTITION TYPES ARE INDICATED BY P9A, P9B, ETC., AS SHOWN ON THE PLANS. PARTITIONS ARE TYPE P9H, UNLESS NOTED OTHERWISE. SEE SHEET A7-1 FOR PARTITION TYPES AND DETAILS.
- TOILET ACCESSORY TYPES ARE INDICATED BY T-(#) AS SHOWN ON THE ENLARGED PLANS, AND/OR ON THE INTERIOR ELEVATIONS. REFER TO SPECIFICATION SECTION 10 26 13 FOR SCHEDULE.
- REFER TO A2 SERIES DRAWINGS FOR CEILING FINISHES, CEILING HEIGHTS, AND OTHER CEILING INFORMATION.
- REFER TO A8 SERIES DRAWINGS FOR DOOR AND FRAME SCHEDULE, ELEVATIONS AND DETAILS.
- REFER TO A10 SERIES DRAWINGS FOR FINISH SCHEDULE AND PLANS.
- ALL PLAN DIMENSIONS ARE TO FACE OF GYPSUM BOARD, OR, WHERE MASONRY EXISTS, TO FACE OF MASONRY.
- TOP OF FLOOR DRAINS TO BE 1/2" BELOW FINISHED FLOOR ELEVATION UNLESS NOTED OTHERWISE. SLOPE FLOOR TO 3'-0" RADIUS IF NOT SPECIFIED OTHERWISE.
- ALL EQUIPMENT PADS AND BASES ARE THE RESPONSIBILITY OF TRADES INSTALLING THE EQUIPMENT, UNLESS NOTED OTHERWISE.
- VERIFY ALL ROUGH OPENINGS WITH PRODUCT AND/OR SYSTEM MANUFACTURERS PRIOR TO FRAMING.

CODED NOTES - PLAN

- | #  | DESCRIPTION   |
|----|---|
| 1  | PUSH PLATE AUTOMATIC DOOR SWITCH. MOUNT CENTERLINE OF SWITCH AT 48" AFF   |
| 2  | BOLLARD FOR DOOR ACTUATOR DEVICES. SEE DETAILS/A5-6   |
| 3  | CARD READER DOOR ACCESS CONTROL. MOUNT CENTERLINE OF DEVICE AT 48" AFF  |
| 4  | FIXED INTERIOR LADDER TYPE 1  |
| 5  | FIRE EXTINGUISHER TYPE 1 AND REMI-RECESSED CABINET  |
| 6  | FIRE EXTINGUISHER TYPE 1 ON WALL BRACKET  |
| 7  | FIXED INTERIOR SHIPS LADDER TYPE 4 WITH PLATFORM  |
| 8  | RECESSED LIFT PIT. CONCRETE PIT BOTTOM ELEVATION 99'-0"   |
| 9  | WOOD STAGE FLOORING. CONCRETE ELEVATION 99'-9 1/2" FOR FINISHED STAGE ELEVATION OF 100'-0"  |
| 10 | CONCRETE PIT. VERIFY ELEVATION OF 94'-10" WITH RIGGING CONTRACTOR. COORDINATE WITH RIGGING EQUIPMENT AND ANCHORAGE. 8" WIDE CONCRETE FLOOR SURFACE FLUSH WITH WOOD STAGE FLOOR AT SOUTH SIDE OF PIT   |
| 11 | STRETCHED FABRIC ACOUSTIC WALL PANEL THIS PARTITION. VERTICAL PANELS 3'-0" WIDE FROM TOP OF BASE TO CEILING. CENTER PANELS ON PARTITION CENTERLINE WITH EQUAL SIZED END PANELS. 1" THICK UNLESS NOTED OTHERWISE (#)   |
| 12 | DOUBLE TIER METAL LOCKERS, 12"Wx18"Dx72"H, ON 4" HIGH CONCRETE BASE   |
| 13 | ALIGN FINISHES  |
| 14 | GROUND FACED MASONRY UNITS AT ALL EXPOSED INTERIOR SURFACES THIS ROOM, FROM ELEVATION 100'-0" TO 112'-8"  |
| 15 | INTERIOR STC RATED HORIZONTAL SLIDING WINDOW. SEE SECTION 08 41 13.   |
| 16 | SIGN TYPE S-1. MOUNT CENTERLINE OF SIGN AT 54" AFF.   |
| 17 | SIGN TYPE S-2. MOUNT CENTERLINE OF SIGN AT 54" AFF.   |
| 18 | PLATFORM LIFT CALL BUTTON. MOUNT CENTERLINE AT 48" AFF. BUTTON LOCATED 36" MIN. FROM LEADING EDGE OF AUTOMATIC ELEVATOR DOOR SWING IN OPEN POSITION   |
| 19 | BACK TO BACK 16 GA. FRAMING STUDS INSIDE DOUBLE 16 GA. FRAMING TRACK LOCATED BEHIND EACH SIDE OF LADDER ATTACHMENTS, ANCHORED TO STRUCTURE ABOVE.   |
| 20 | HOLD PARTITION TIGHT TO DUCT  |
| 21 | DIMENSION FROM FACE OF STUD   |
| 22 | UNDERSLAB DRAINAGE - 4" DIA. PERFORATED PIPE  |
| 23 | UNDERSLAB DRAINAGE TIE-INTO DOWNSPOUT STORM DRAINAGE SYSTEM. INVERT ELEVATION 794'-0" (USGS)  |
| 24 | CURTAIN, CURTAIN TRACK AND CURTAIN CONTROLS BY RIGGING CONTRACTOR   |
| 25 | PAINT EXPOSED WOOD AND STEEL CATWALK STRUCTURE BELOW STRUCTURAL GRATING   |
| 26 | CONCRETE FRAME AT OPENING. SEE STRUCTURAL DRAWINGS. ALIGN NORTH FACE OF CONCRETE WITH EXISTING CMU AND SOUTH FACE WITH NEW CMU. INSTALL EXPANSION JOINT IW1 COVER IN GYPSUM BOARD AT 1" JOINT BETWEEN CMU AND CONCRETE FRAME (BOTH SIDES). PATCH MASONRY AND PAINT TO MATCH EXISTING AT GYMNASIUM 139 |
| 27 | TRENCH DRAIN ELEVATION 99'-11". CENTER ON OPENING 5'-0" FROM SOUTH WALL. SLOPE CONCRETE TO DRAIN  |
| 28 | FIXED COAT ROD & SHELVING. SEE DETAIL 4/A9-9  |
| 29 | CONTROL JOINT. AT CONCRETE MASONRY UNIT FULL HEIGHT OF WALL. MIRROR CONTROL JOINTS IN MASONRY VENEER LOCATIONS. SEE EXTERIOR ELEVATIONS FOR LOCATIONS/DIMENSIONS. AT GYPSUM BOARD FULL HEIGHT OF PARTITION  |
| 30 | WALL MOUNTED VIDEO MONITOR. REVIEW LOCATION WITH OWNER AND AV CONSULTANT  |
| 31 | TWO SLEEVES THROUGH FLOOR FOR OIL AND ELECTRICAL PIPING / CONDUIT TO ABOVE FIRST FLOOR CEILING SPACE. COORDINATE SIZE WITH PLATFORM LIFT SUPPLIER. FIRESTOP ANNUAL SPACE  |
| 32 | TERRAZZO METAL DIVIDER STRIP  |
| 33 | PROVIDE FLOOR UNDERLAYMENT FOR CONCRETE FLOOR SLAB TRANSITIONS FROM NEW TO EXISTING   |

KEY PLAN



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Expiration Date, 12/31/2013

#	DATE	DESCRIPTION

CLIENT  
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PHASE 2 ADDITION

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COLUMBUS, OHIO 43209

FIRST FLOOR PLAN

commission no. 0906.04  
scale: As indicated  
date: 02/07/2013  
revised:

**09**

**A1-1**