

PUBLIC NOTICE
CITY OF BEXLEY ARCHITECTURAL REVIEW BOARD
BOARD OF ZONING APPEALS

The Bexley Architectural Review Board will hold a Public Meeting on the following case on Thursday, May 9th, 2013, at 7:00 P. M., in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The Board of Zoning Appeals hears requests for Special Permits and Appeals for Variances to the requirements of the Zoning Code, Ordinance No.8-72.

SPECIAL NOTE TO THE APPLICANT: It is important that you or your representative be present at the Public Hearing. It is a rule of the Board to withdraw an application when a representative is not present.

Application No.: 13-0017
Applicant: Jon Onan
Owner: Jon Onan
Location: 124 Ashbourne Rd.

REQUEST: The applicant is seeking Architectural Review and approval to allow a 1-story addition and patio at the rear (east side) of the principal structure.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Please contact the City of Bexley at 559-4240 at least 48 hours before the scheduled meeting if you need any accommodation or assistance in order to participate at the meeting.

Mailed by 05-02-2013



CITY OF BEXLEY

BOARD OF ZONING APPEALS and ARCHITECTURAL REVIEW APPLICATION

Application Number 13-0017

1. Architectural Review for:

Addition Alteration New Structure (_____)
 Demolition of a Principal Structure Demolition of Garage

2. Variance For:

Principal Structure Garage Fence Other

3. Variance To:

Front Yard Setback Side Yard Setback Rear Yard Setback lot coverage

4. Conditional Use For: _____ Home Occupation _____ sq.' / height of structure

5. LOCATION 124 ASHBOURNE RD

Zoning District R-3

6. OWNER JON ONAN

Phone # 614-403-2040 or Cell # _____

* If Applicant is NOT owner, a letter must be submitted giving applicant permission to represent the owner's review request.

7. Applicant JON ONAN E-mail JONONAN@MSN.COM Phone # 614-403-2040 or Cell# _____

Address 124 ASHBOURNE City, State, Zip BEXLEY, OH

8. Brief Description of Request and/or Variance ARCHITECTURAL REVIEW OF 1 STORY FAMILY ROOM ADDITION.

9. Valuation of Project \$ 100,000

• APPLICATION REVIEW FEES, (based on valuation of the project):
\$90.00 – up to the first \$10,000 valuation. And \$5.00 for each additional \$10,000 valuation w/\$600 cap.
(Re-submittal fee \$50.00)

• VARIANCE REVIEW FEES:
Single Family \$100.00; Fences or Special Permit \$65.00; All others \$90.00

• SIGNATURE Jon Onan DATE 4-18-13

Fee: based on valuation	\$ _____
Fee: based on variance	\$ _____
Other	\$ _____
TOTAL FEE DUE	\$ <u>135.00</u>

****Be advised, if the Board or Staff decides it needs the services of an independent expert (example: architect, landscape architect; planner; civil, environmental or traffic engineer; legal counsel, etc.) to assist it, it shall designate the person to be consulted and the cost of consultation thereof shall be paid by the Applicant in addition to the review filing fees. (Ord. 54-11)**

• LOT INFORMATION

Address 124 ASHBOURNE RD Zoning District R-3
Lot Width 90 ft Depth 105.2 ft Total Area 14,868 sq ft
Existing Residence (foot print) 2436 sq ft Garage _____ sq ft
Existing Building Height _____ one-story two-story
Proposed Addition (foot print) 703 sq ft Height one-story _____ two-story
Proposed Garage _____ sq.ft. Height _____ one-story _____ two-story
Permitted Lot Coverage 26 % = 3717 sq ft
Lot to be covered 21 % = 3139 sq ft

Please submit a **SITE PLAN**, which gives the setback from all existing structures to front, side and rear property lines. Indicate proposed addition or proposed structure and indicate how far it is setback from the front, side and rear property lines. Also include the distance between the principal structure and detached garage.

• ARCHITECTURAL INFORMATION

Architect and/or Residential Designer H DESIGN/BUILD - PHILL HECKMAN
Contractor/Builder H DESIGN/BUILD - PHILL HECKMAN
Preliminary Review Final Review _____

- DESCRIPTION OF CHANGES PROPOSED ONE STORY FAMILY ROOM
ADDITION UTILIZING MATERIALS/FEATURES OF EXIST. HOUSE.
MATERIALS - STONE, STUCCO, PAINTED WOOD
FEATURES - HIP ROOF, FRENCH DOORS, PORCH ELEMENTS
- DESCRIPTION OF ANY EXTENUATING CIRCUMSTANCES TO BE CONSIDERED

Please indicate: the existing materials and the proposed changes of exterior materials to be used in the completion of your design project. Check all that apply in each category below:

- **ROOFING** House Only / Garage Only / House & Garage
1. Existing Roof Type:
 Slate _____ Clay Tile _____ Wood Shake _____ Standard 3-Tab Asphalt Shingle
_____ Architectural Dimensional Shingles _____ EPDM (rubber) Roofing _____ Metal
2. New Shingle Manufacturer: _____
3. New Roofing Type, Style & Color: STANDING SEAM METAL EXIST.
COLOR - GREY (SIMILAR TO SLATE)

• **WINDOWS**

1. Existing Window Style:

Casement ___ Double Hung ___ Horizontal Sliding ___ Awning
 ___ Fixed ___ Exterior Storm ___ Other: _____

2. Existing Window Materials:

Wood ___ Vinyl ___ Vinyl Clad Wood ___ Aluminum Clad Wood
 ___ Aluminum ___ Metal ___ Other: _____

3. New Window Manufacturer: MARVIN

4. New Window Style, Material & Color: FIXED / CASEMENT
WOOD - COLOR TO MATCH EXIST.

• **DOORS**

Existing Exterior Doors (Accurately indicate door style on exterior elevations of drawings)

1. Entrance Door Type Wood ___ Insulated Metal ___ Fiberglass
 ___ Sidelights ___ Transom Window

2. Garage Door Type ___ Wood ___ Insulated Metal ___ Fiberglass

3. Door Finish ___ Stained Painted

Proposed Door Type FRENCH / Style _____ Color MATCH EXIST.
PATIO DOORS

• **EXTERIOR WALL FINISHES**

TYPE		Manufacture, Style, Color
Existing	Proposed	
(<input checked="" type="checkbox"/>)	(<input checked="" type="checkbox"/>)	Natural Stone _____
()	()	Cultured Stone _____
()	()	Brick _____
()	()	Mortar _____
(<input checked="" type="checkbox"/>)	(<input checked="" type="checkbox"/>)	Stucco _____
()	()	Wood Shingle _____
(<input checked="" type="checkbox"/>)	(<input checked="" type="checkbox"/>)	Wood Siding _____
()	()	Vinyl Siding _____
()	()	Aluminum Siding _____
()	()	Other _____

• **EXTERIOR TRIM**

1. Existing Door Trim:

___ Cedar ___ Redwood Pine ___ Vinyl
 ___ Wood composite ___ Aluminum Clad ___ Molding
 ___ Standard lumber Profile ___ Other: _____

2. Existing Window Trim:

___ Cedar ___ Redwood Pine ___ Vinyl
 ___ Wood composite ___ Aluminum Clad ___ Molding
 ___ Standard lumber Profile ___ Other: _____

3. Proposed NEW Door Trim: CEDAR

4. Proposed NEW Window Trim: CEDR

5. Trim: Color(s): MATCH EXISTING

** Do the proposed changes affect the overhangs? _____

• **DECKS**

EXISTING:

1. Existing Decking Materials
___ Cedar ___ Pressure-treated wood ___ Wood/Plastic Composite
___ Other _____

2. Existing Railing Materials
___ Cedar ___ Pressure-treated wood ___ Wood/Plastic Composite
___ Other _____

PROPOSED:

3. Proposed Decking Materials
___ Cedar ___ Pressure-treated wood ___ Wood/Plastic Composite
___ Other _____

4. Proposed Railing Materials
5. Existing Railing Materials
___ Cedar ___ Pressure-treated wood ___ Wood/Plastic Composite
___ Other _____

----- TO BE COMPLETED BY RESIDENTIAL DESIGN CONSULTANT -----

Date of Review _____ Approved By _____

To be reviewed by the BZA on: _____

Conditions / Stipulations: _____

3

124 Ashbourne

Proximity Report Results

789794/8916625

The selection distance was **100 feet**.

The selected parcel was **020-001587**.

To view a table showing the **13 parcels** within the displayed proximity, scroll down.

 [Get Report](#)

 [Print Window](#)

 [Back to Proximity Report](#)

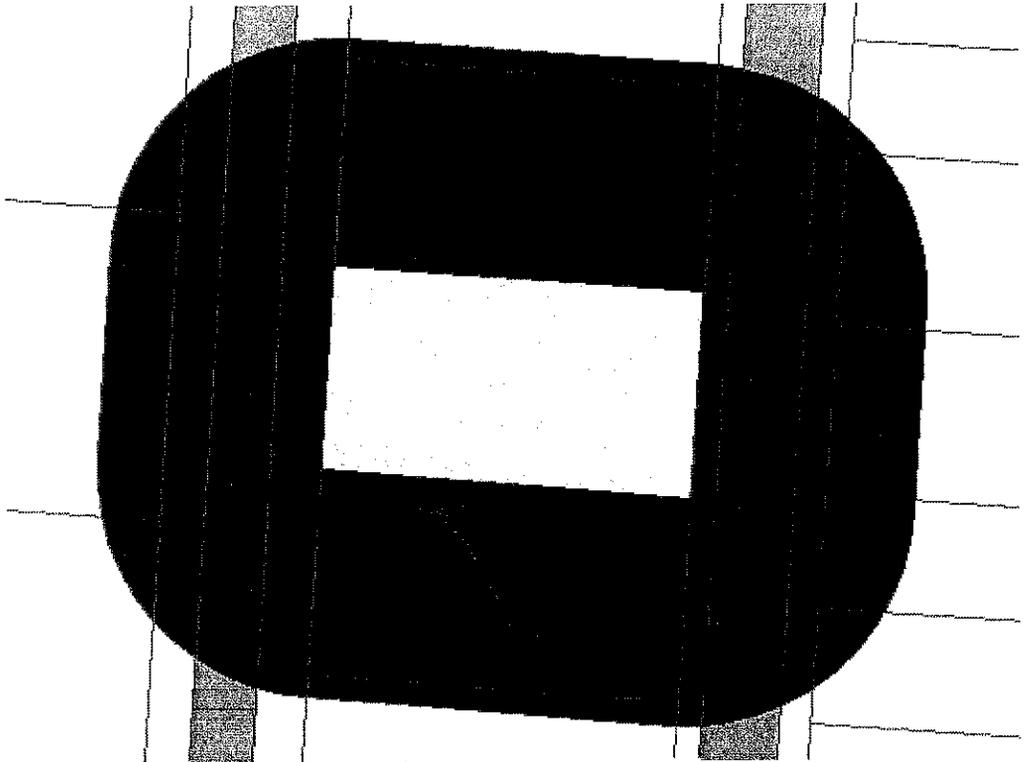


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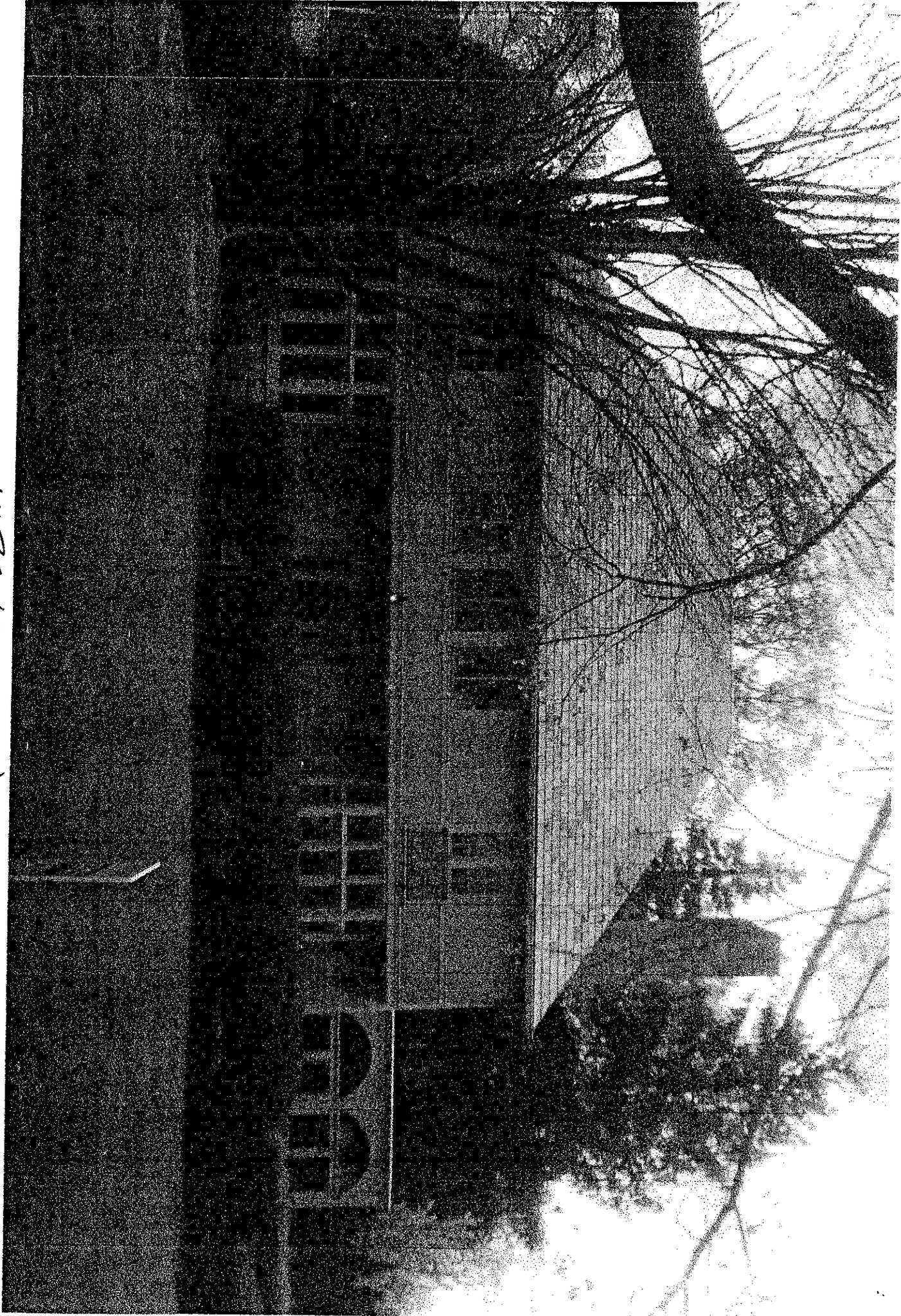
Proximity Parcels

Hint: To copy this report to another program:

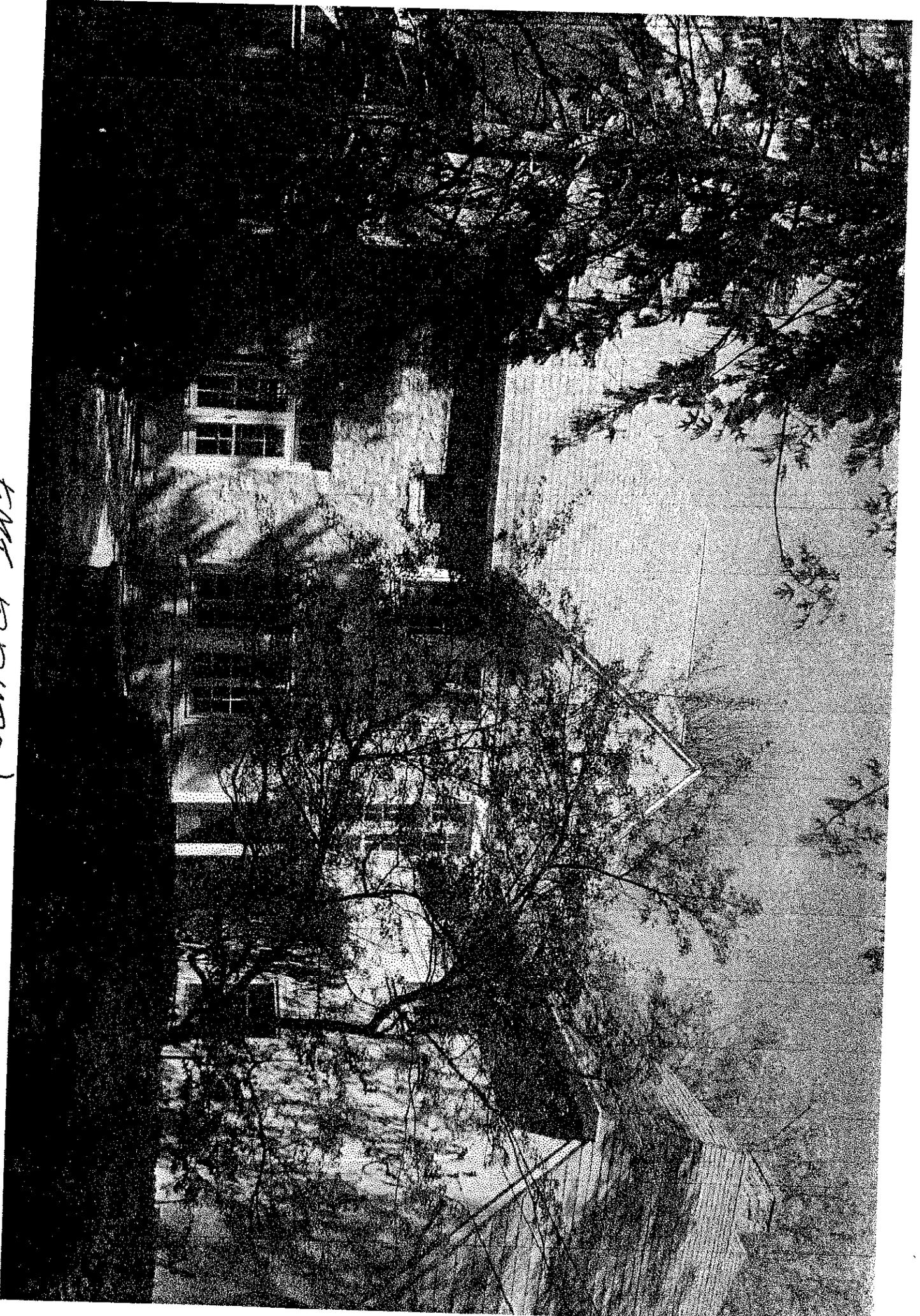
1. Hold down the left mouse button over the top-left corner of the area you want to get.
 2. Drag the mouse to the bottom-left corner of the desired area.
 3. Let go of the mouse button.
 4. Select Edit Copy from the menu bar.
- You can then Paste the report into another application.

Parcel	Owner Name	Address
020-001589	102 ASHBOURNE ROAD LLC	102 ASHBOURNE RD
020-001628	ANDERSON HEIDI P ANDERSON DAVID B	125 ASHBOURNE RD
020-001223	BISZAHA L JOHN & DEBORAH L	108 N CASSADY RD
020-001629	BOWMAN TRACEY A	107 ASHBOURNE RD
020-001222	FARQUHAR WILLIAM T & CHRISTINE M	128 N CASSADY RD
020-001626	GILLER PATRICK E GILLER KATHARINE C	145 ASHBOURNE RD
020-003761	GRIFFIN CHRISTOPHER M	116 N CASSADY RD
020-001588	JENEY STEPHEN I WOBST-JENEY ANDREA	112 ASHBOURNE RD
020-001586	MARZELLA J NICK MARZELLA NANCY	134 ASHBOURNE RD
020-001584	MEYER NANCY S	150 ASHBOURNE RD
020-001587	ONAN JONATHAN P ONAN SARAH	124 ASHBOURNE RD
020-003605	PALLAY AMY C & MARY J	104 N CASSADY RD
020-000577	STAMMLER ERIC B STAMMLER SETH M	132 N CASSADY RD

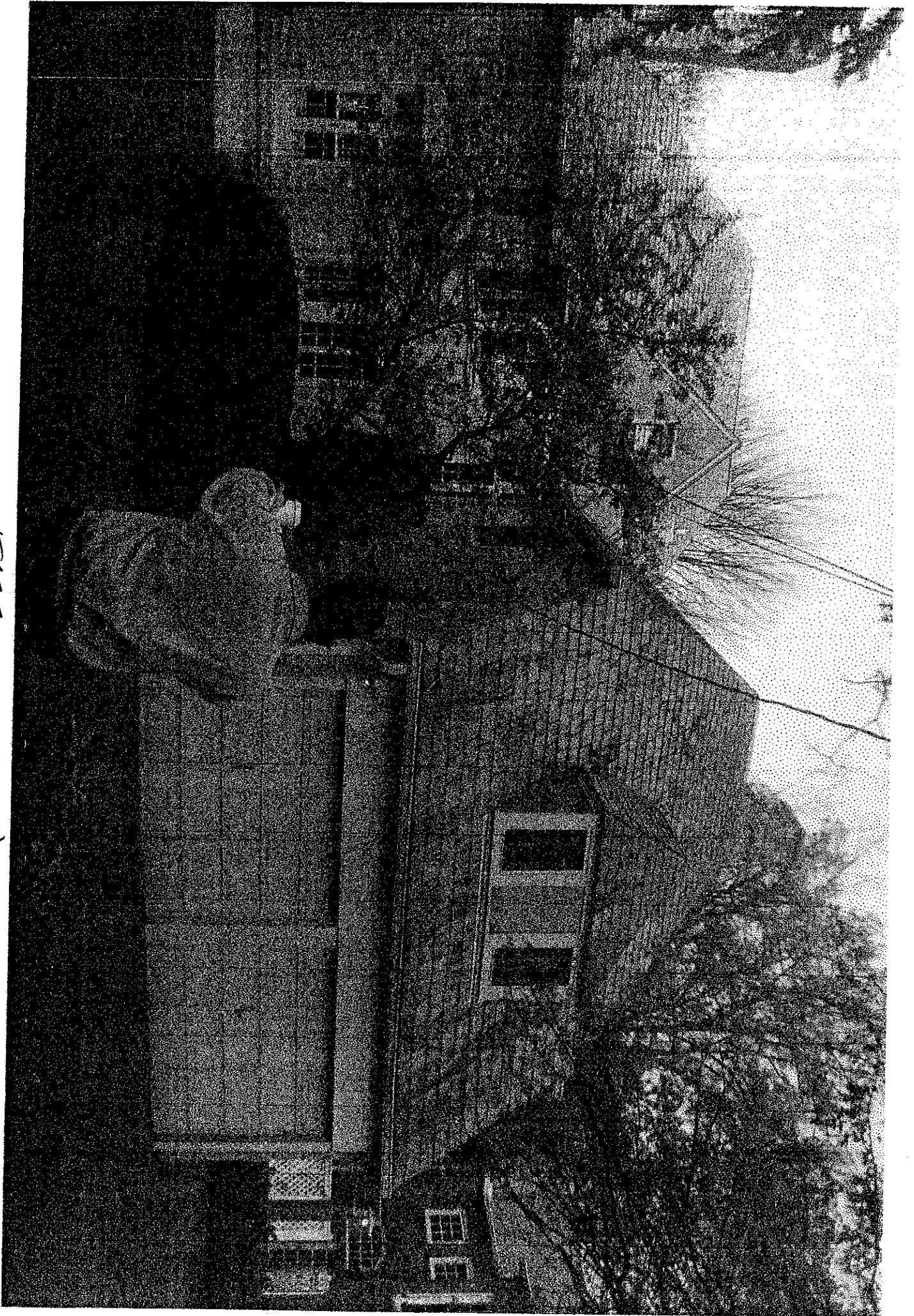
WEST ELEVATION

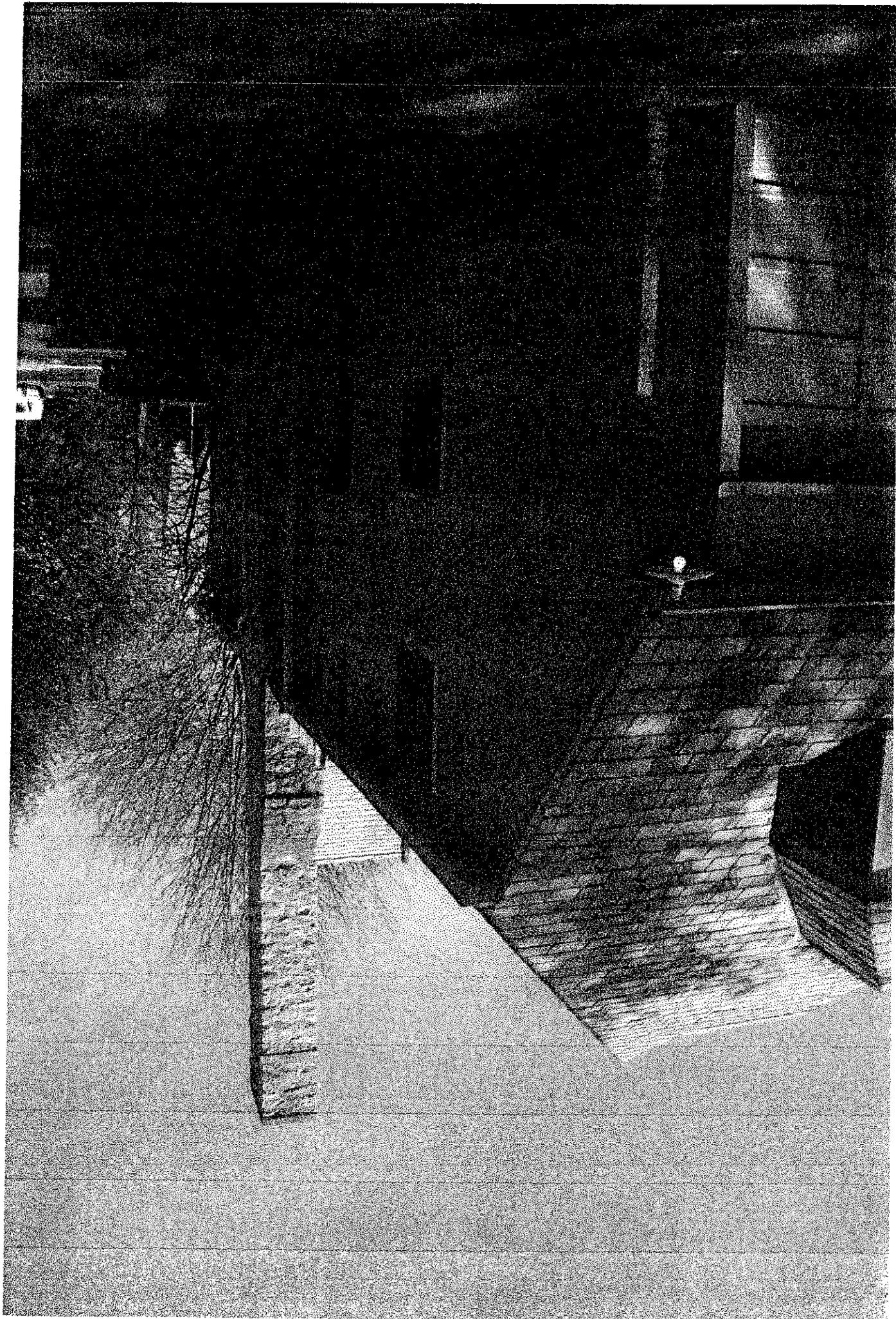


EAST BRILLIANT

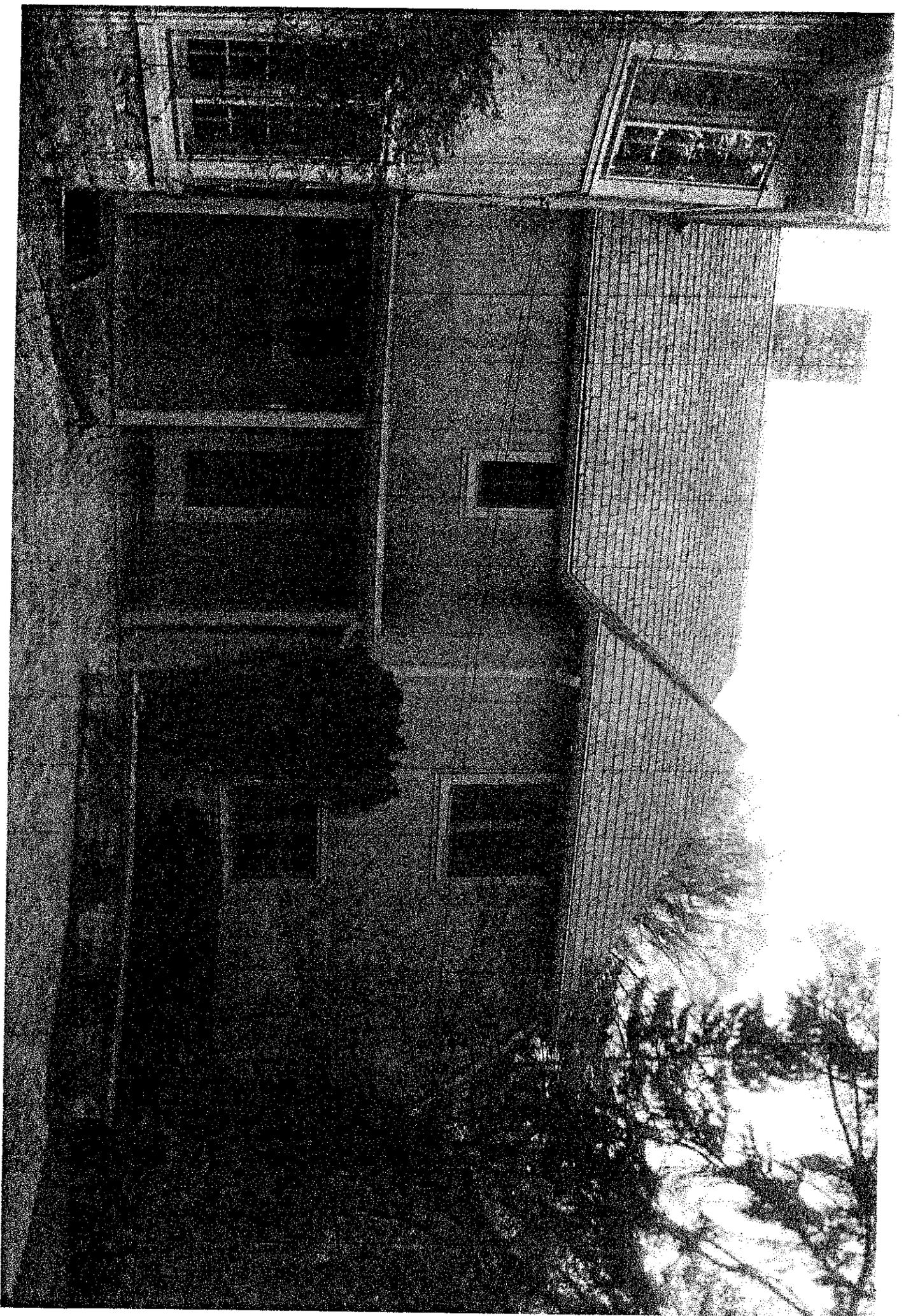


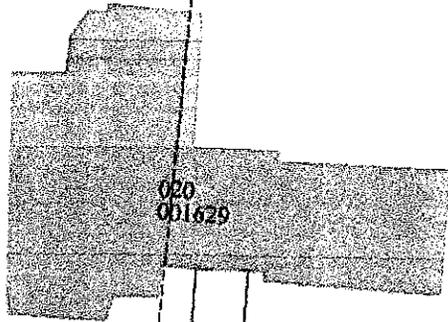
EAST EDWARDS



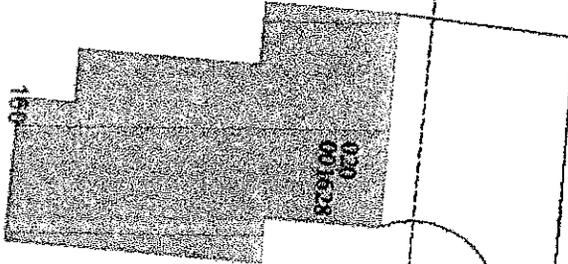


1700 W. 17th St. (1700 W. 17th St.)





020
001629



020
001628

180

(90)

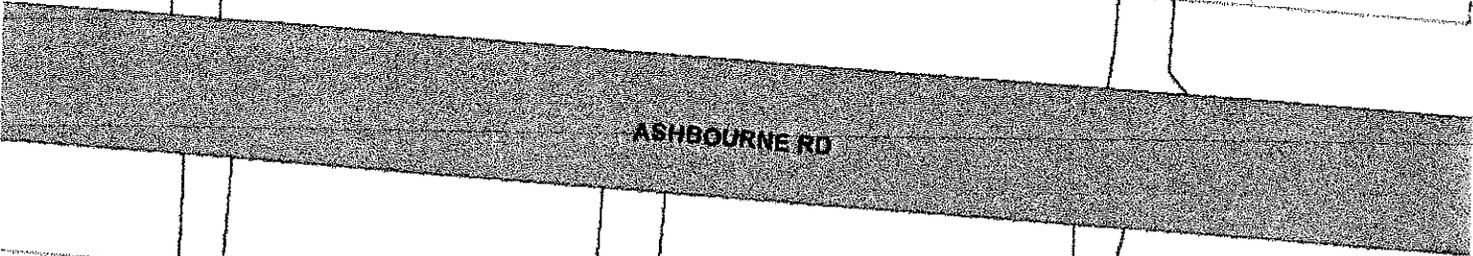
(90)

135

(45)

150

(45)



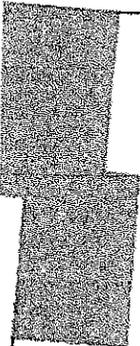
ASHBOURNE RD

90

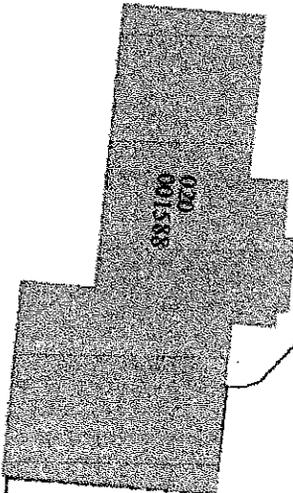
90

90

90

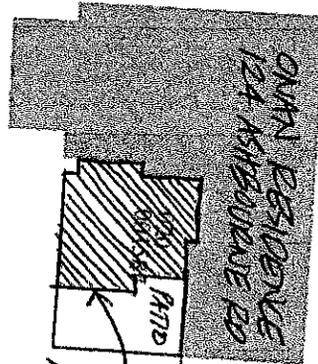


164.90



020
001588

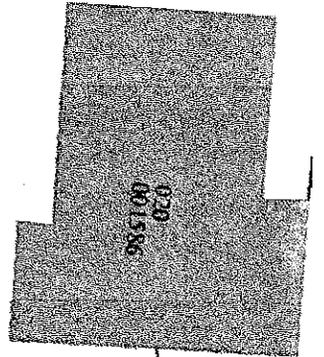
163.20



OWN RESIDENCE
124 ASHBORNE RD

PROPOSED
1 STORY
ADDITION

165.50



020
001586

BZA Member,

5-23-13

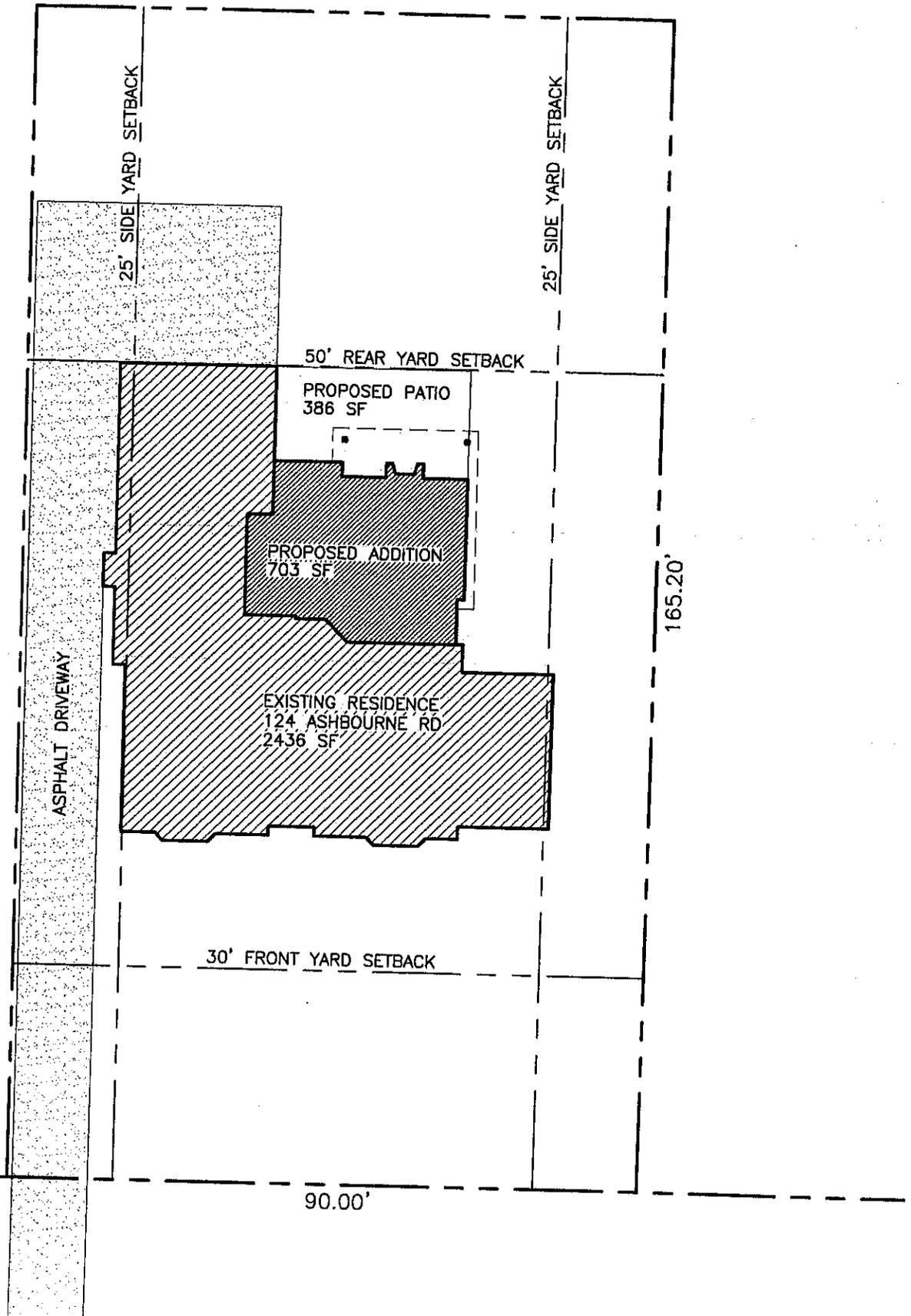
Attached are updated drawings for the proposed family room addition at 124 Ashbourne Rd, Bexley, Ohio. This design was previously reviewed at the May 9th meeting but was tabled pending further clarification of the roof details. The homeowner had previously desired a steep roof pitch of 14/12 to match existing and allowing vaulted interior ceiling space. The design has been more accurately developed both technically and to scale addressing concerns regarding the roof design. The homeowner is in agreement with the proposed changes which are listed below.

1. The proposed hip roof has been shifted east allowing a 5' section of membrane roof from the existing house wall. This integrates with the 8' membrane roof on the north side allowing 2-way drainage of the flat roof area.
2. The pitch of the hip roof has been lowered from 14/12 to 6/12 improving both sight lines and roof wash concerns.
3. The existing second floor door in the corner will be converted to a casement window to allow required ceiling and roof clearances.
4. The perimeter of the hip roof will have aluminum gutters.

Sincerely,



Phill Heckman
H Design/Build

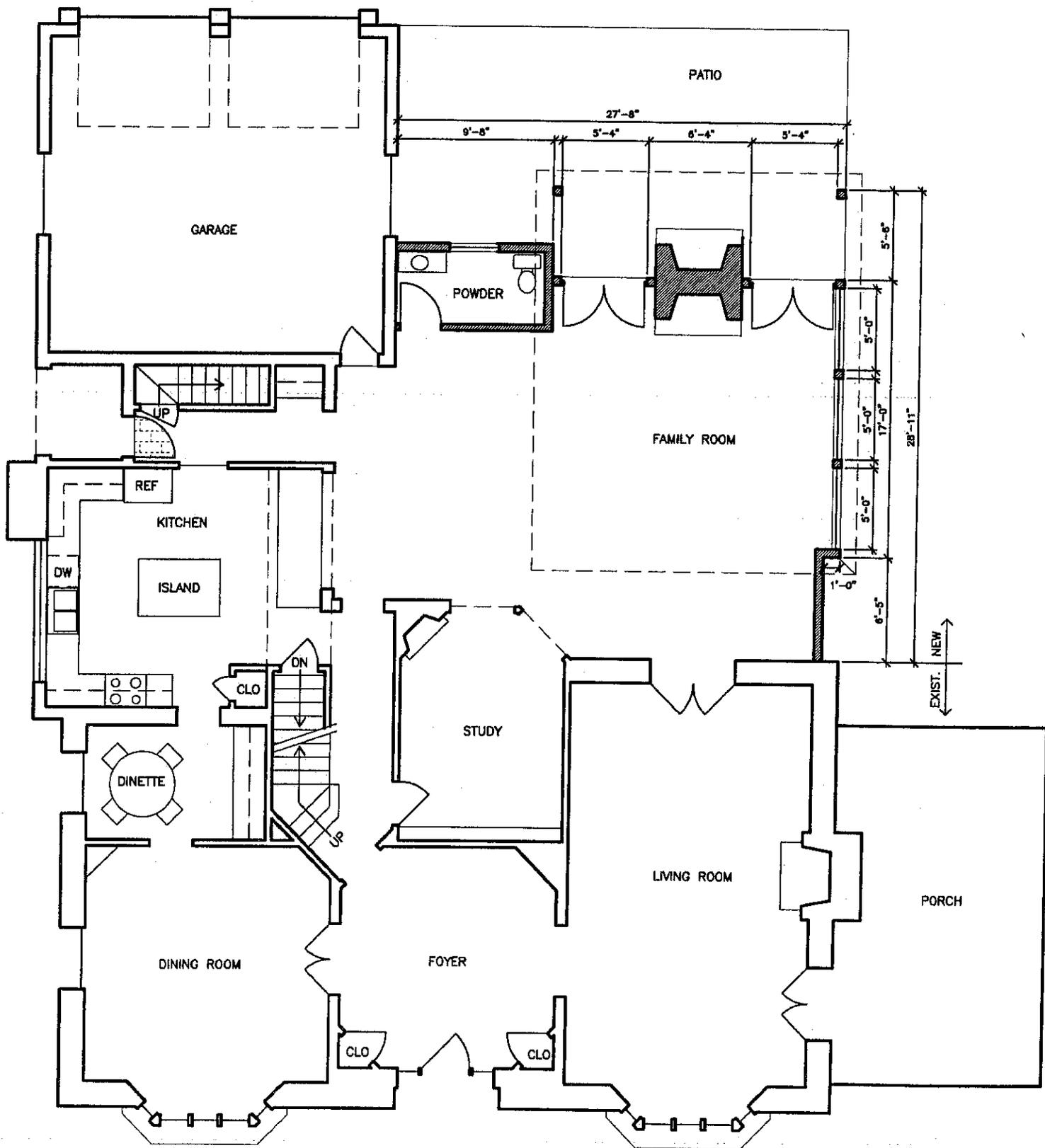


SITE PLAN

1"=20'-0"

05-23-13

RENOVATION FOR:
THE O'NAN RESIDENCE
 124 ASHBOURNE RD
 BEXLEY, OHIO 43209



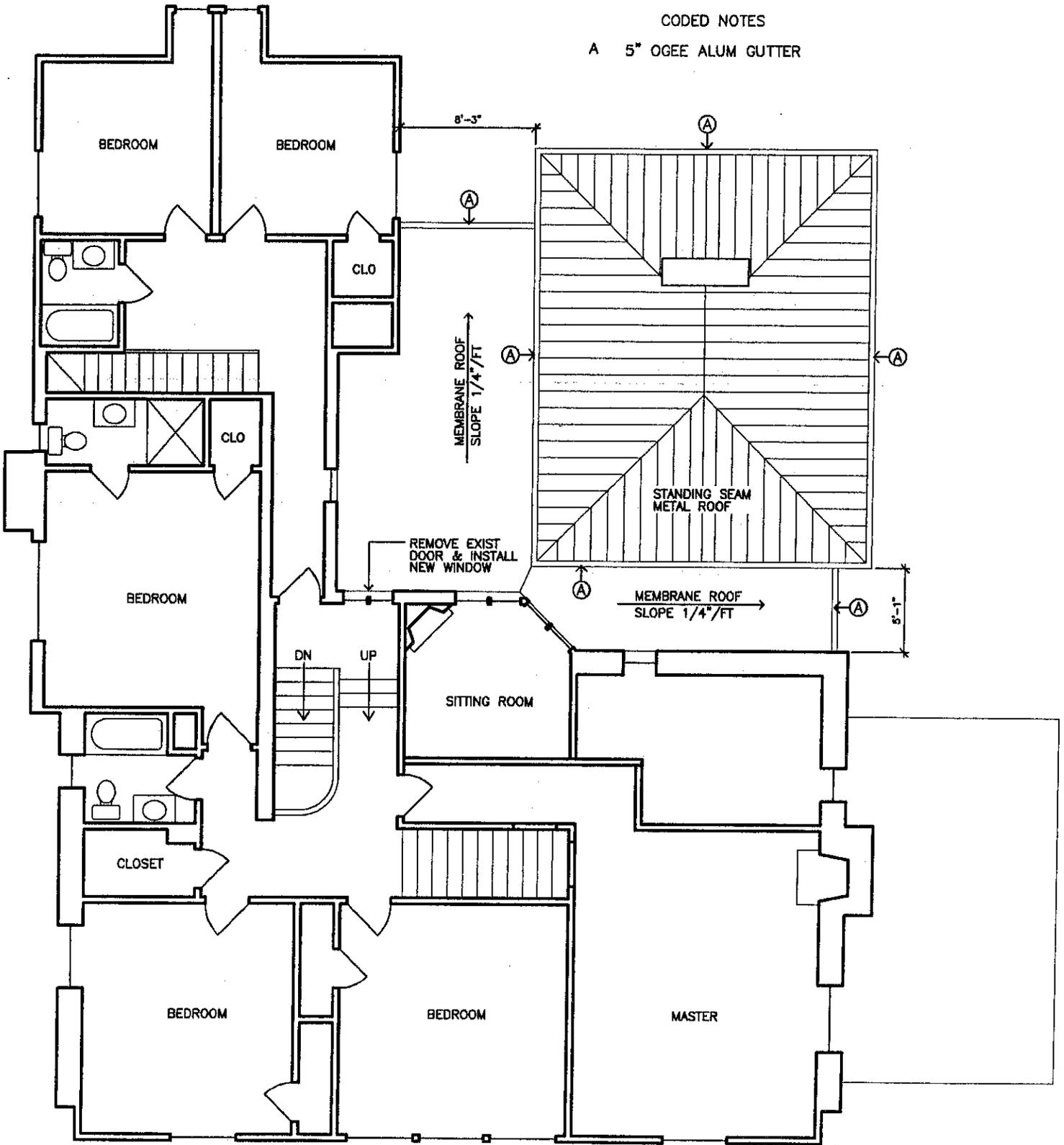
FIRST FLOOR PLAN

1/8" = 1'-0"

05-23-13

RENOVATION FOR:
THE O'NAN RESIDENCE
 124 ASHBOURNE RD
 BEXLEY, OHIO 43209

CODED NOTES
 A 5" OGEE ALUM GUTTER



SECOND FLOOR PLAN

1/8" = 1'-0"

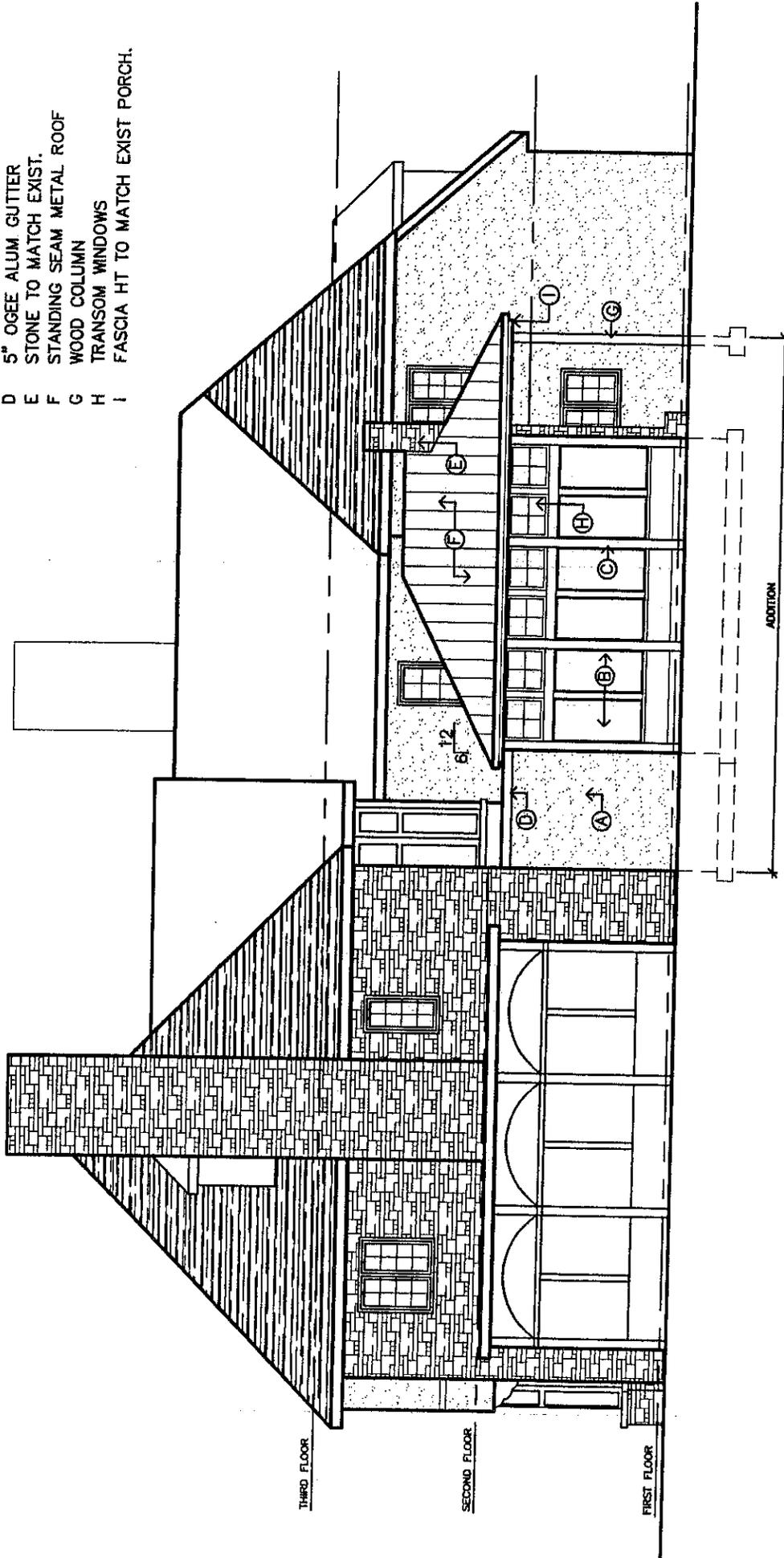
5-23-13

RENOVATION FOR:
 THE O'NAN RESIDENCE

124 ASHBOURNE RD
 BEXLEY, OHIO 43209

CODED NOTES

- A STUCCO TO MATCH EXIST.
- B HARDIPANEL SMOOTH FINISH
- C 5/4 WOOD TRIM
- D 5" OGEE ALUM GUTTER
- E STONE TO MATCH EXIST.
- F STANDING SEAM METAL ROOF
- G WOOD COLUMN
- H TRANSOM WINDOWS
- I FASCIA HT TO MATCH EXIST PORCH.

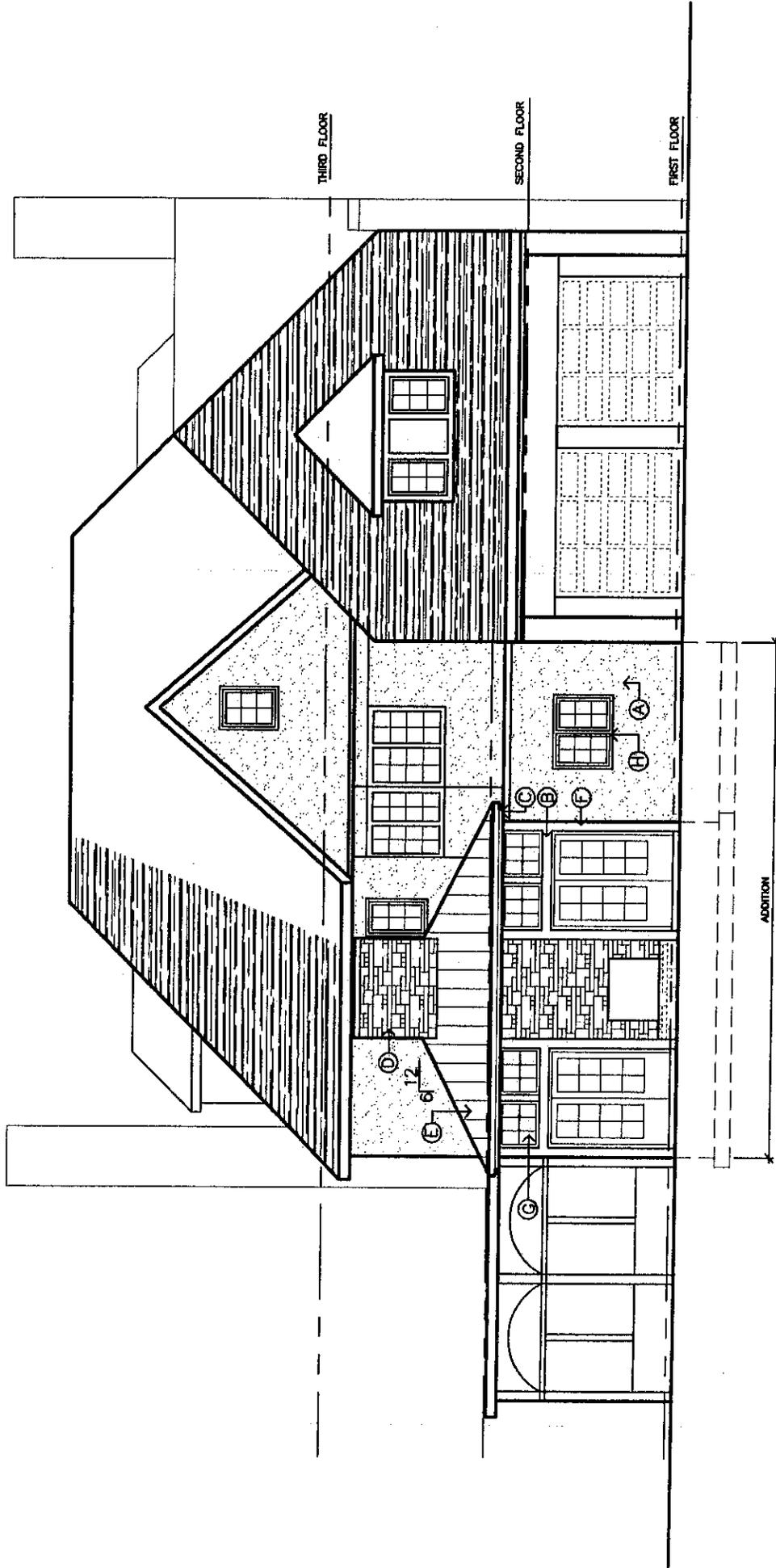


NEW SOUTH ELEVATION
 1/8" = 1'-0" 05-23-13

RENOVATION FOR:
 THE O'NAN RESIDENCE
 124 ASHBOURNE RD
 BEXLEY, OHIO 43209

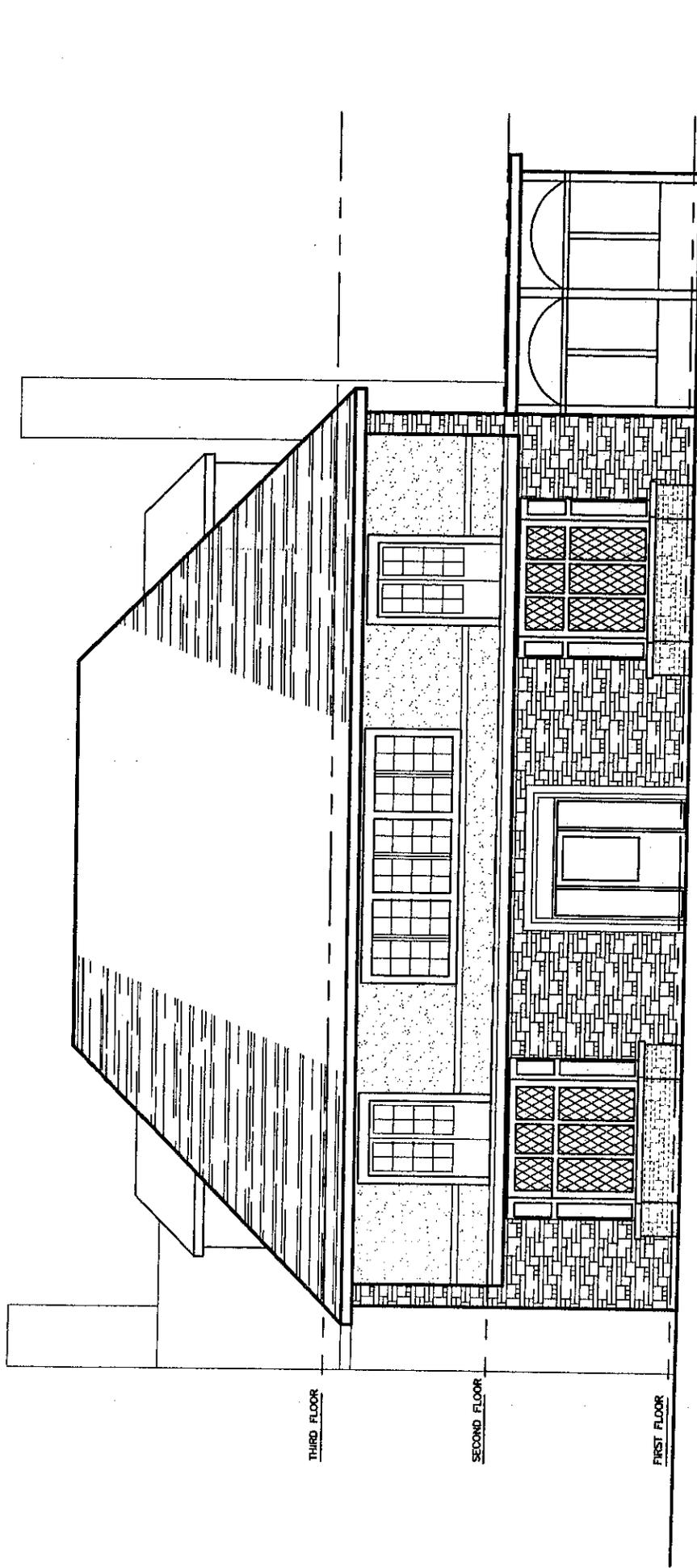
CODED NOTES

- A STUCCO TO MATCH EXIST.
- B 5/4 WOOD TRIM
- C 5" OGEE ALUM. GUTTER
- D STONE TO MATCH EXIST.
- E STANDING SEAM METAL ROOF
- F WOOD COLUMN
- G TRANSOM WINDOWS
- H CASEMENT WINDOW TO MATCH EXIST.



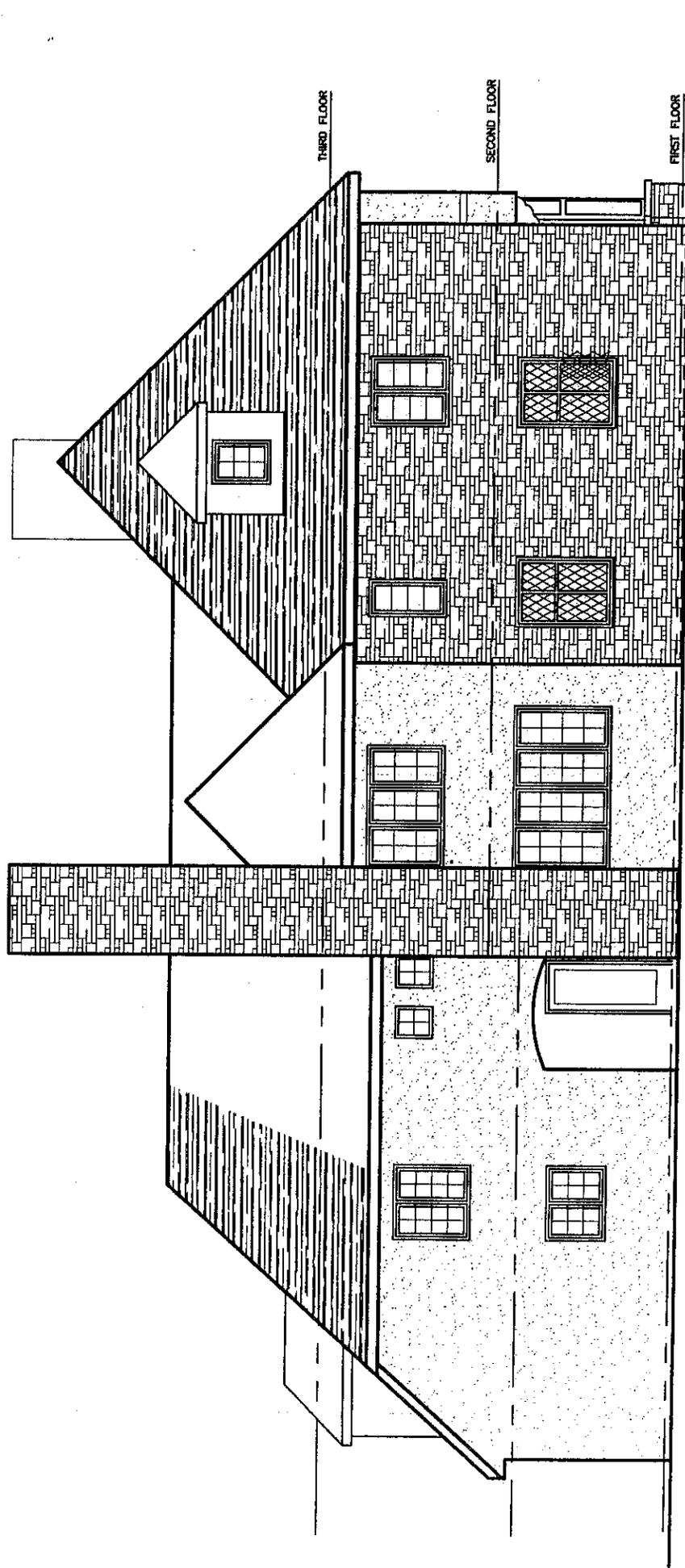
RENOVATION FOR:
THE O'NAN RESIDENCE
 124 ASHBOURNE RD
 BEXLEY, OHIO 43209

NEW EAST ELEVATION
 1/8" = 1'-0"
 05-23-13



EXISTING WEST ELEVATION
1/8"=1'-0" 05-23-13

RENOVATION FOR:
THE O'NAN RESIDENCE
124 ASHBOURNE RD
BEXLEY, OHIO 43209



EXISTING NORTH ELEVATION
1/8"=1'-0" 05-23-13

RENOVATION FOR:
THE O'NAN RESIDENCE
124 ASHBOURNE RD
BEXLEY, OHIO 43209

