

PUBLIC NOTICE
CITY OF BEXLEY ARCHITECTURAL REVIEW BOARD
BOARD OF ZONING APPEALS

The Bexley Architectural Review Board will hold a Public Meeting on the following case on Thursday, June 13th, 2013, at 7:00 P. M., in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The Board of Zoning Appeals hears requests for Special Permits and Appeals for Variances to the requirements of the Zoning Code, Ordinance No.8-72.

SPECIAL NOTE TO THE APPLICANT: It is important that you or your representative be present at the Public Hearing. It is a rule of the Board to withdraw an application when a representative is not present.

Application No.: 13-0024
Applicant: Todd Dillon
Owner: Todd Dillon
Location: 2760 Bexley Park Rd.

REQUEST: The applicant is seeking Architectural Review and approval to allow a 2nd story addition/expansion to the existing principal structure at this location.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Please contact the City of Bexley at 559-4240 at least 48 hours before the scheduled meeting if you need any accommodation or assistance in order to participate at the meeting.

Mailed by 06-06-2013

Proximity Report Results

6988829/2942504

The selection distance was **100 feet**.The selected parcel was **020-003175**.

To view a table showing the **13 parcels** within the displayed proximity, scroll down.

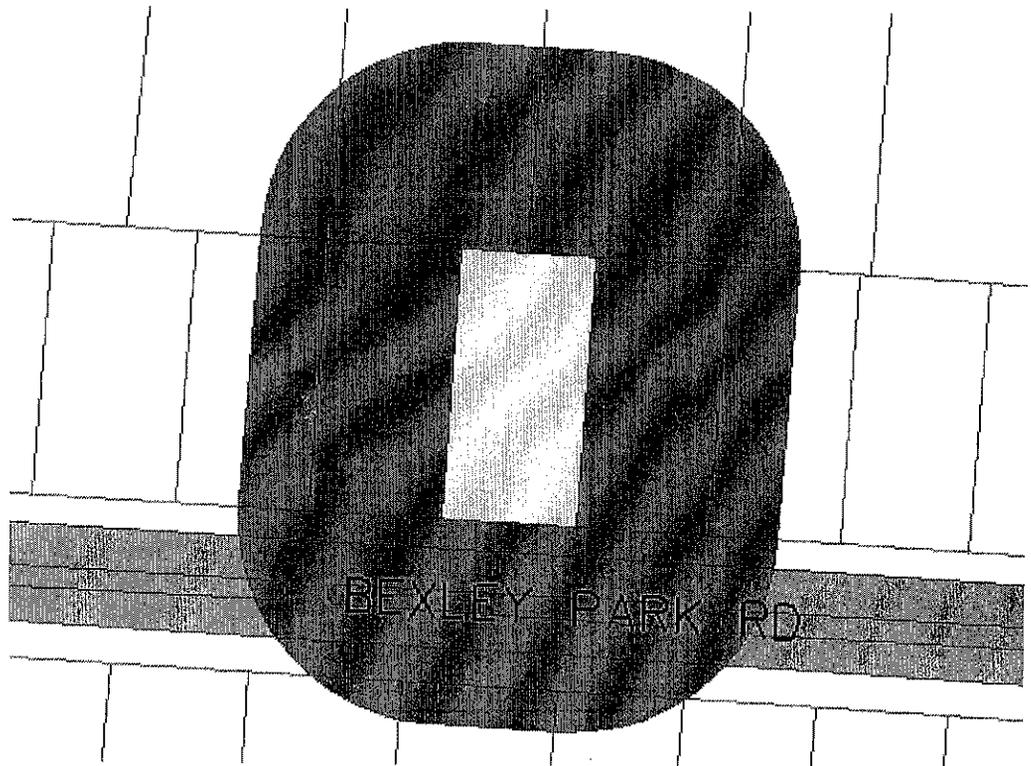
 [Get Report](#)
 [Print Window](#)
 [Back to Proximity Report](#)


Image Date: Fri May 24 08:38:12 2013

Proximity Parcels**Hint:** To copy this report to another program:

1. Hold down the left mouse button over the top-left corner of the area you want to get.
2. Drag the mouse to the bottom-left corner of the desired area.
3. Let go of the mouse button.
4. Select Edit Copy from the menu bar.

You can then Paste the report into another application.

Parcel	Owner Name	Address
020-003174	ATHA HOLLY ANN SIMONTON EDWIN CARY	02754 BEXLEY PARK RD
020-003177	BUTLER RICHARD P II BUTLER KRISTIN	02778 BEXLEY PARK RD
020-003175	DILLON TODD M DILLON MEGHAN	02760 BEXLEY PARK RD
020-003665	ELLIOTT GEORGE P ELLIOTT JILL B	02755 BEXLEY PARK RD
020-003173	EVANS BRYAN A EVANS FRANCES	02744 BEXLEY PARK RD
020-003176	LAZARUS MARJORIE	02770 BEXLEY PARK RD
020-003666	LONG JOHN F & SARAH B CO-TRS	02765 BEXLEY PARK RD
020-003667	MACKESSY JOHN & LINDA D	02775 BEXLEY PARK RD
020-003183	MASONER LESLIE	2775 BRENTWOOD RD
020-003186	MECKLER MARCIA MECKLER MARCIA L	2749 BRENTWOOD RD
020-000095	MOORE FREDERICK L	02747 BEXLEY PARK RD
020-003185	SCHNEIDERMAN MICHELE T	2765 BRENTWOOD RD
020-003182	WEINSTEIN SHERYL L WEINSTEIN MELVIN	2783 BRENTWOOD RD





CITY OF BEXLEY

BOARD OF ZONING APPEALS and ARCHITECTURAL REVIEW APPLICATION

Application Number 2013 0024 V

1. Architectural Review for:

Addition Alteration New Structure (_____)
 Demolition of a Principal Structure Demolition of Garage

2. Variance For:

Principal Structure Garage Fence Other

3. Variance To:

Front Yard Setback Side Yard Setback Rear Yard Setback lot coverage

4. Conditional Use For: _____ Home Occupation _____ sq.' / height of structure

5. LOCATION 2760 BEXLEY PARK RD. Zoning District R12

6. OWNER TODD DILLON Phone # _____ or Cell # 614-353-3076
** If Applicant is NOT owner, a letter must be submitted giving applicant permission to represent the owner's review request.*

7. Applicant TODD DILLON E-mail tdillon@ Phone # 614-353- or Cell# Some
elc-gv.com 3076

Address 2760 BEXLEY PK. City, State, Zip BEXLEY, OH 43209

8. Brief Description of Request and/or Variance SECOND STORY ADDITION/EXPANSION TO EXISTING RESIDENCE

9. Valuation of Project \$ 30,000.00

• APPLICATION REVIEW FEES, (based on valuation of the project):
\$90.00 – up to the first \$10,000 valuation. And \$5.00 for each additional \$10,000 valuation w/\$600 cap.
(Re-submittal fee \$50.00)

• VARIANCE REVIEW FEES:
Single Family \$100.00; Fences or Special Permit \$65.00; All others \$90.00

• SIGNATURE _____ DATE 5/23/13

Fee: based on valuation	\$	<u>100.00</u>
Fee: based on variance	\$	<u>0.00</u>
Other	\$	<u>0.00</u>
TOTAL FEE DUE	\$	<u>100.00</u>

PAID
OK# 2092

**Be advised, if the Board or Staff decides it needs the services of an independent expert (example: architect, landscape architect; planner; civil, environmental or traffic engineer; legal counsel, etc.) to assist it, it shall designate the person to be consulted and the cost of consultation thereof shall be paid by the Applicant in addition to the review filing fees. (Ord. 54-11)

• LOT INFORMATION

Address 2760 BEXLEY PARK Zoning District R-6

Lot Width 65.5' ft Depth 131.5 ft Total Area 8,613 sq ft

Existing Residence (foot print) 1706 sq ft Garage 455 sq ft

Existing Building Height _____ one-story two-story

Proposed Addition (foot print) _____ sq ft Height _____ one-story 635 two-story

FIRST STORY DOES NOT CHANGE FOOTPRINT.

Proposed Garage N/A sq.ft. Height _____ one-story _____ two-story

Permitted Lot Coverage _____ % = _____ sq ft

Lot to be covered _____ % = _____ sq ft > NO CHANGE

Please submit a **SITE PLAN**, which gives the setback from all existing structures to front, side and rear property lines. Indicate proposed addition or proposed structure and indicate how far it is setback from the front, side and rear property lines. Also include the distance between the principal structure and detached garage.

• ARCHITECTURAL INFORMATION

Architect and/or Residential Designer R.E.D CONSULTING - KIMBERLY MIKANIK ARCHITECT.

Contractor/Builder SELF

Preliminary Review _____ Final Review _____

• DESCRIPTION OF CHANGES PROPOSED EXPAND EXISTING SECOND / FLOOR OVER ~~THE~~ FIRST FLOOR (INTO ATTIC AREA)

• DESCRIPTION OF ANY EXTENUATING CIRCUMSTANCES TO BE CONSIDERED

Please indicate: the existing materials and the proposed changes of exterior materials to be used in the completion of your design project. Check all that apply in each category below:

• **ROOFING** House Only / Garage Only / House & Garage

1. Existing Roof Type:

____ Slate ____ Clay Tile ____ Wood Shake Standard 3-Tab Asphalt Shingle
____ Architectural Dimensional Shingles ____ EPDM (rubber) Roofing ____ Metal

2. New Shingle Manufacturer: GAF OR EQUAL

3. New Roofing Type, Style & Color: MATCH EXISTING HOUSE

• **WINDOWS**

1. Existing Window Style:
 Casement Double Hung ___ Horizontal Sliding ___ Awning
 ___ Fixed ___ Exterior Storm ___ Other: _____
2. Existing Window Materials:
 Wood ___ Vinyl ___ Vinyl Clad Wood Aluminum Clad Wood
 ___ Aluminum ___ Metal ___ Other: _____
3. New Window Manufacturer: PELLA OR EQUAL
4. New Window Style, Material & Color: DOUBLE HUNG & CASEMENT
WHITE - AS SHOWN ON PLANS

• **DOORS**

Existing Exterior Doors (Accurately indicate door style on exterior elevations of drawings)

1. Entrance Door Type Wood ___ Insulated Metal ___ Fiberglass
 Sidelights ___ Transom Window
2. Garage Door Type ___ Wood Insulated Metal ___ Fiberglass
3. Door Finish ___ Stained Painted
- Proposed Door Type N/A /Style _____ Color _____
NO NEW DOORS

• **EXTERIOR WALL FINISHES**

TYPE		Manufacture, Style, Color
Existing	Proposed	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Natural Stone _____
<input type="checkbox"/>	<input type="checkbox"/>	Cultured Stone _____
<input type="checkbox"/>	<input type="checkbox"/>	Brick _____
<input type="checkbox"/>	<input type="checkbox"/>	Mortar _____
<input type="checkbox"/>	<input type="checkbox"/>	Stucco _____
<input type="checkbox"/>	<input type="checkbox"/>	Wood Shingle _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Wood Siding _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Vinyl Siding _____
<input type="checkbox"/>	<input type="checkbox"/>	Aluminum Siding _____
<input type="checkbox"/>	<input type="checkbox"/>	Other _____

CERTAINTEED STRAIGHT LAP - 6" EXPOSED
& SHINGLED EDGE IN
GABLES
* COLOR NOT YET SELECTED

• **EXTERIOR TRIM**

1. Existing Door Trim:
 ___ Cedar ___ Redwood ___ Pine ___ Vinyl
 ___ Wood composite ___ Aluminum Clad ___ Molding
 Standard lumber Profile ___ Other: _____
2. Existing Window Trim:
 ___ Cedar ___ Redwood ___ Pine ___ Vinyl
 ___ Wood composite ___ Aluminum Clad ___ Molding
 Standard lumber Profile ___ Other: _____
3. Proposed NEW Door Trim: N/A

4. Proposed NEW Window Trim: 3" / 5" AS SHOWN ON ELEVATIONS

5. Trim: Color(s): T.B. SELECTED

** Do the proposed changes affect the overhangs? _____

• **DECKS**

EXISTING:

1. Existing Decking Materials
 Cedar Pressure-treated wood Wood/Plastic Composite
 Other _____

2. Existing Railing Materials
 Cedar Pressure-treated wood Wood/Plastic Composite
 Other _____

PROPOSED:

3. Proposed Decking Materials
 Cedar Pressure-treated wood Wood/Plastic Composite
 Other _____

4. Proposed Railing Materials
5. Existing Railing Materials
 Cedar Pressure-treated wood Wood/Plastic Composite
 Other _____

----- TO BE COMPLETED BY RESIDENTIAL DESIGN CONSULTANT -----

Date of Review _____ Approved By _____

To be reviewed by the BZA on: _____

Conditions / Stipulations: _____

CITY OF BEXLEY
2242 EAST MAIN STREET
BEXLEY, OH 43209

*** RECEIPT ***

APPLICANT: TODD DILLON

Receipt #: 20130938 05/31/2013

Application #: 20131189

Lot #: N/A

Address: 2760 BEXLEY PARK RD

Description: V

AMOUNT PAID: \$100.00

PAYMENT TYPE: CHK-2092

FEES: VARIANCE 100.00

AMOUNT DUE: \$0.00

By:



ABBREVIATIONS

A.B.	ANCHOR BOLT	INT.	INTERIOR
ABV.	ABOVE	INV.	INVERT
A.C.	AIR CONDITIONING	JT.	JOINT
A.C.T.	ADJUSTABLE CEILING TILE	JST/STB.	JOIST/BATTEN
A.F.F.	ABOVE FINISH FLOOR	LAM.	LAMINATED
ALT.	ALTERNATE	LAV.	LAVATORY
ALUM.	ALUMINUM	L.V.L.	LIVE LOAD
APPROX.	APPROXIMATE	MAS.	MASONRY
ARCH.	ARCHITECT	MATL.	MATERIAL
ATTEN.	ATTENTION	MAX.	MAXIMUM
B.D.	BUILDING	M.C.	MECHANICAL CONTRACTOR
BLK.	BLOCK	M.C.H.	MECHANICAL
BLKG.	BLOCKING	MFR.	MANUFACTURER(S)
BM.	BEAM	M.K.	MANHOLE
B.M.	BENCH MARK	MIN.	MINIMUM
B.O.L.	BOTTOM OF	M.O.	MASONRY OPENING
BOT.	BOTTOM	M.R.	MOISTURE RESISTANT
B.R.G.	BEARING	M.T.D.	MOUNTED
BRICK	BRICK	M.T.L.	METAL
B.S.	BOTH SIDES	N.C.	NOT IN CONTRACT
BSMT.	BASEMENT	No.	NUMBER
BTWN.	BETWEEN	NOM.	NOMINAL
B.W.	BOTH WAYS	N.T.S.	NOT TO SCALE
CAB.	CABINET	O.	OVER
CASEMTC/SMT	CASEMENT	O.C.	ON CENTER
C.B.	CATCH BASIN	O.P.G.	OPENING
CB	CENTER TO CENTER	O.P.P.	OPPOSITE
CER.	CERAMIC	OSB	ORIENTED STRAND BOARD
CO.	CORNER	O.V.B./O.V.H.D.	OVERHEAD
C.O.	CONTROL JOINT	P.C.	PLUMBING CONTRACTOR
CL	CENTER LINE	PERF.	PERFORATED
CL.G.	CEILING	PERM.	PERMETER
CL.R.	CLEARANCE	PIC.T.	PICTURE
C.M.U.	CONCRETE MASONRY UNIT	PL/P.L.	PLATE
C.NTR.	COUNTER	PLM.	PLASTIC LAMINATE
COL.	COLUMN	PKL.	PAINT
CONC.	CONCRETE	PRFIN.	PRE-FINISHED
CONT.	CONTINUOUS	P.S.F.	POUNDS PER SQUARE FOOT
CRP.	CARPET	P.S.I.	POUNDS PER SQUARE INCH
CRS.	COURSE	P.T.	PRESSURE TREATED
C.T.	CERAMIC TILE	P.V.C.	POLYVINYL CHLORIDE
C.V.	CURB/VARD	P.V.M.T.	PAVEMENT
DET./DTL.	DETAIL	Q.T.	QUARRY TILE
DIAM/DIAMØ	DIAMETER	R.	RISER
D.L.	DEAD LOAD	R.A.	RETURN AIR
DPL.	DOOR	R.D.	ROOF DRAIN
D.S.	DOWNSPOUT	REIN.	REINFORCING
D.W.	DISHWASHER	REQ/REQD.	REQUIRED
DWS/DWSGS.	DISHWASHER(S)	REV.	REVERSE
EA.	EACH	RFG.	ROOFING
E.C.	ELECTRICAL CONTRACTOR	ROOM	ROOM
E.L.	EXPANSION JOINT	R.O.	ROUGH OPENING
ELEC.	ELECTRICAL	RAW / R.O.W.	RIGHT OF WAY
ELEV.	ELEVATION	SA.N.	SANITARY
EQ.	ELECTRIC WATER COOLER	S.C.	SOLID CORE
EWC	ELECTRIC WATER COOLER	SCHED.	SCHEDULE
EXIST.	EXISTING	SHT.	SHEET
EXT.	EXTERIOR	SHITG.	SHITTING
FAB.	FABRICATED	SIM.	SIMILAR
F.D.	FLOOR DRAIN	SPEC/SPECS.	SPECIFICATIONS
F.E.	FIRE EXTINGUISHER	SQ.	SQUARE
FIN.	FINISH	S.S.	STAINLESS STEEL
FLR.	FLOORING	STD.	STANDARD
FLR/FLDN.	FOUNDATION	STL.	STEEL
F.O.F.	FACE OF FINISH	STM.	STORM
F.O.M.	FACE OF MASONRY	STRUC.	STRUCTURAL
F.O.S.	FACE OF STUD	T&G	TONGUE AND GROOVE
F.R.P.	FIBERGLASS REINFORCED PANEL	THK.	THICKNESS
FRZ.	FRIEZE	T.O.	TOP OF
FTG.	FOOTING	T.O.C.	TOP OF CONCRETE
F.V.	FIELD VERIFY	TRED.	TREATED
GA.	GAUGE	T.V.	TELEVISION
G.C.	GENERAL CONTRACTOR	TYP.	TYPICAL
GL.	GLASS/LAZING	UNL.D.	UNLESS NOTED OTHERWISE
GYP. BD.	GYP. BOARD	V.B.	VAPOR BARRIER
H.C.	HOLLOW CORE	V.C.T.	VINYL COMPOSITION TILE
H.W.D.	HARDWOOD	VERT.	VERTICAL
HDR.	HEADER	V.T.	VINYL TILE
HGR.	HANGER	W.	WITH
H.M.	HOLLOW METAL	WD.	WOOD
HORIZ./HORIZ.	HORIZONTAL	WOW.	WINDOW
HT.	HEIGHT	W.I.	WROUGHT IRON
HTG.	HEATING	W/OUT	WITHOUT
HVAC	HEATING/VENTILATION/AIR CONDITIONING	W.W.F.	WELDED WIRE FABRIC
L.A.W.	LAW	W.W.M.	WELDED WIRE MESH
INS./INSUL.	INSULATION	±	PLUS OR MINUS

SYMBOLS

	ANGLE		DIRECTION OF CUT
	CENTER LINE		SECTION DESIGNATION
	PLATE		SHEET No. WHERE SECTION SHOWN
	PERPENDICULAR		SHEET No. WHERE SECTION FIRST CUT
	DIAMETER		DETAIL DESIGNATION
	BEARING/ELEVATION DESIGNATION		SHEET No. WHERE DETAIL SHOWN
	EARTH		SHEET No. WHERE DETAIL FIRST CUT
	GRAVEL OR SAND FILL		ELEVATION DESIGNATION
	CONCRETE		DIRECTION OF ELEVATION
	GROUT/GYPSUM/PLASTER/PARTICLE BOARD		SHEET No. WHERE ELEVATION SHOWN
	STEEL		ENLARGED PLAN DESIGNATION
	DIMENSIONAL LUMBER		STUD PARTITION
	BLOCKING		STRUCTURAL WOOD POST
	DOOR DESIGNATION		ROOF INSULATION
	WINDOW DESIGNATION		BRICK VENEER
	WALL TYPE DESIGNATION		CONCRETE BLOCK
			SHT. No. WHERE ENLARGED PLAN SHOWN
			SOLID OR GROUTED CONCRETE BLOCK
			PLYWOOD
			BATT INSULATION
			RIGID INSULATION/INSULATED SHEATHING
			FINISH GRADE WOOD/FIBER CEMENT
			CUT STONE
			WINDOW TYPE DESIGNATION

PROJECT INFORMATION

Dillon Residence

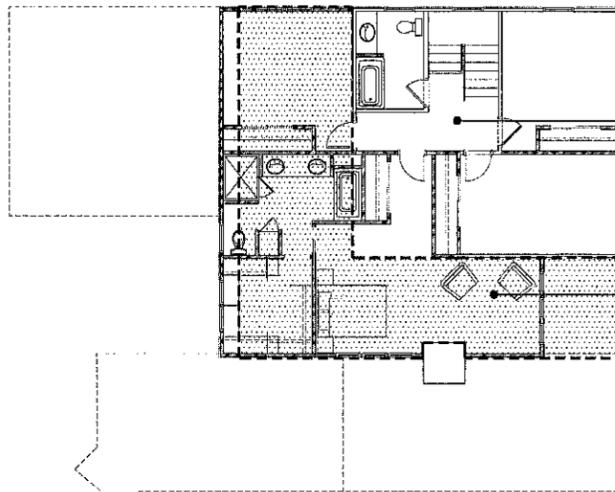
Second Story Addition

2760 Bexley Park Road
Bexley Ohio 43209

PROJECT DESCRIPTION:

- SCOPE OF WORK INCLUDES THE EXPANSION OF EXISTING SECOND FLOOR LIVING SPACE BY ADDING 550 S.F. TO THE EXISTING 572 S.F. SPACE.
- THE PROJECT SHALL INCREASE THE BEDROOMS ON THE SECOND FLOOR FROM TWO TO THREE PLUS A MASTER SUITE. THE EXISTING BATHROOM SHALL BE REMODELED AND A NEW MASTER BATH ROOM SHALL BE BUILT.

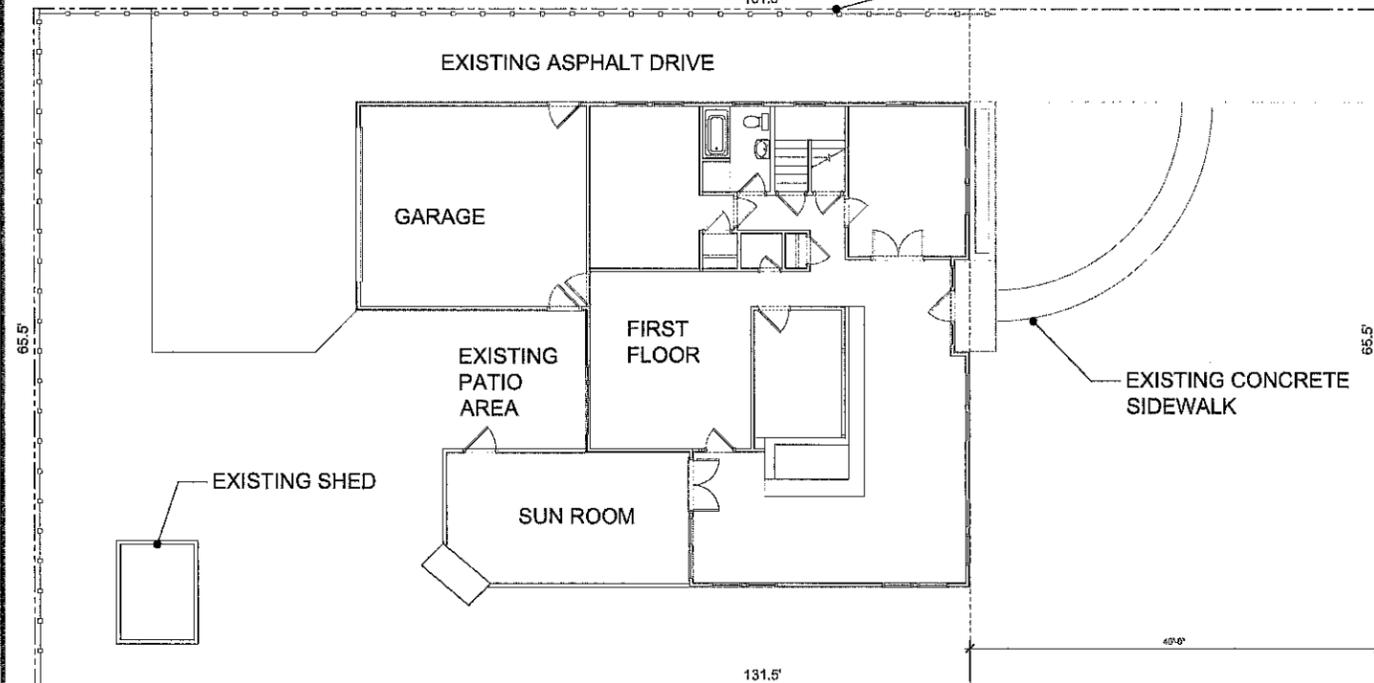
SECOND FLOOR PLAN



EXISTING SECOND FLOOR LIVING AREA - BATH TO BE REMODELED AND EXISTING BEDROOMS TO BE MODIFIED 572 S.F. OVERALL (GROSS)

SHADED AREA REPRESENTS NEW SECOND FLOOR LIVING AREA 550 S.F. (GROSS)

SITE PLAN AND FIRST FLOOR PLAN

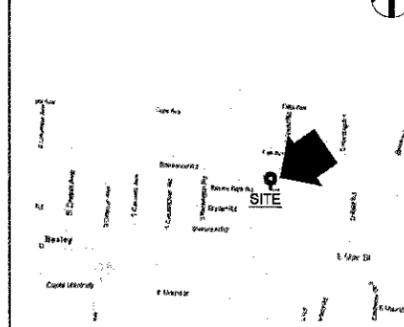


EXISTING FENCE AT SHARED DRIVE

EXISTING CONCRETE SIDEWALK

1 OVERALL SITE AND BUILDING PLANS
Scale: 1/8" = 1'-0"

LOCATION MAP



SHEET INDEX

- ARCHITECTURAL DRAWINGS**
- A0.0 TITLE SHEET
 - A0.1 PHOTOS: EXISTING EXTERIOR ELEVATIONS
 - A1.1 DEMOLITION & DIMENSIONED AND NOTED FLOOR PLANS
 - A2.1 EXTERIOR ELEVATIONS

4 SHEETS - ARCHITECTURAL REVIEW BOARD SUBMITTAL

CODE INFORMATION

THE FOLLOWING INFORMATION IS BASED ON THE 2013 EDITION OF THE RESIDENTIAL CODE OF OHIO (R.C.O.) AND THE LOCAL ORDINANCES OF BEXLEY, OHIO.

PROPERTY OWNER:
Megan & Todd Dillon
2760 Bexley Park Drive
Bexley, Ohio 43209

Dillon Residence
Second Story Addition
2760 Bexley Park Road
Bexley, Ohio 43209

SEAL

REVISION RECORD

NO.	DATE

JOB NUMBER: 13DI01
SHEET TITLE: TITLE SHEET
SHEET NUMBER: A0.0

REAL ESTATE DEVELOPMENT CONSULTING
ARCHITECTURE + ENVIRONMENTAL + CIVIL ENGINEERING + DEVELOPMENT SERVICES
614.582.4365 - 6475 E. MAIN ST., REYNOLDSBURG, OH 43068 - 614.353.3076

KEY PLAN

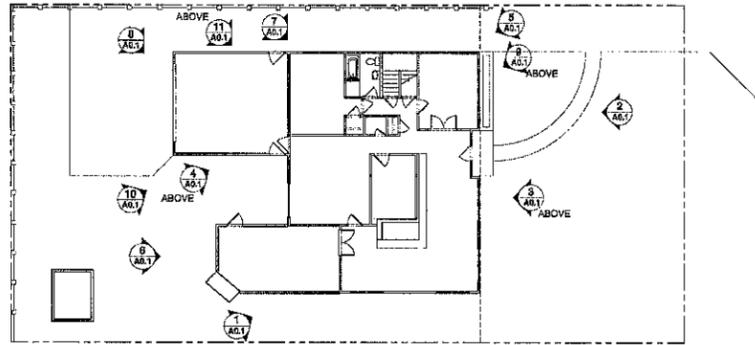


PHOTO 1



PHOTO 2

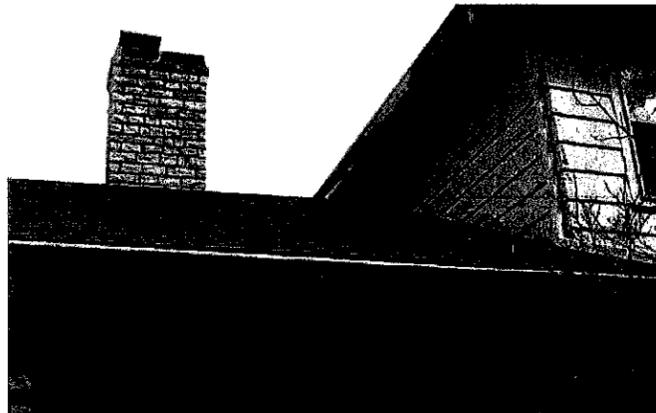


PHOTO 3



PHOTO 4



PHOTO 5



PHOTO 6



PHOTO 7



PHOTO 8



PHOTO 9



PHOTO 10

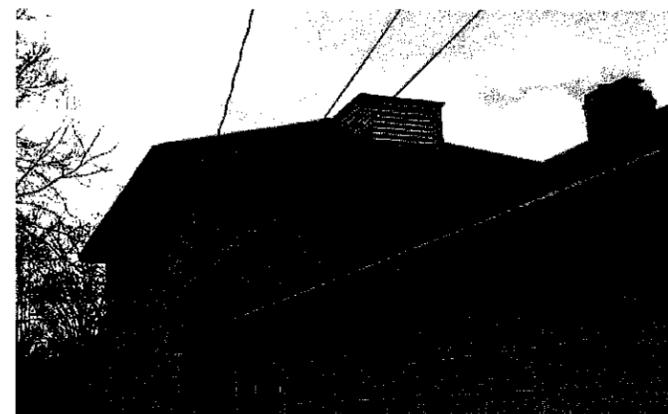


PHOTO 11

REAL ESTATE DEVELOPMENT CONSULTING
ARCHITECTURE * ENVIRONMENTAL * CIVIL ENGINEERING
DEVELOPMENT SERVICES
614.532.4395 - 6475 E. MAIN ST., REYNOLDSBURG, OH 43088 - 614.533.3076

PROPERTY OWNER:

Megan & Todd Dillon
2760 Bexley Park Drive
Bexley, Ohio 43209

Dillon Residence
Second Story Addition

2760 Bexley Park Road
Bexley, Ohio 43209

SEAL



Kimberly R. Mikerik
Lic. No. 12488
Expires: 12/31/2013

REVISION RECORD

NO: DATE:

NO:	DATE:

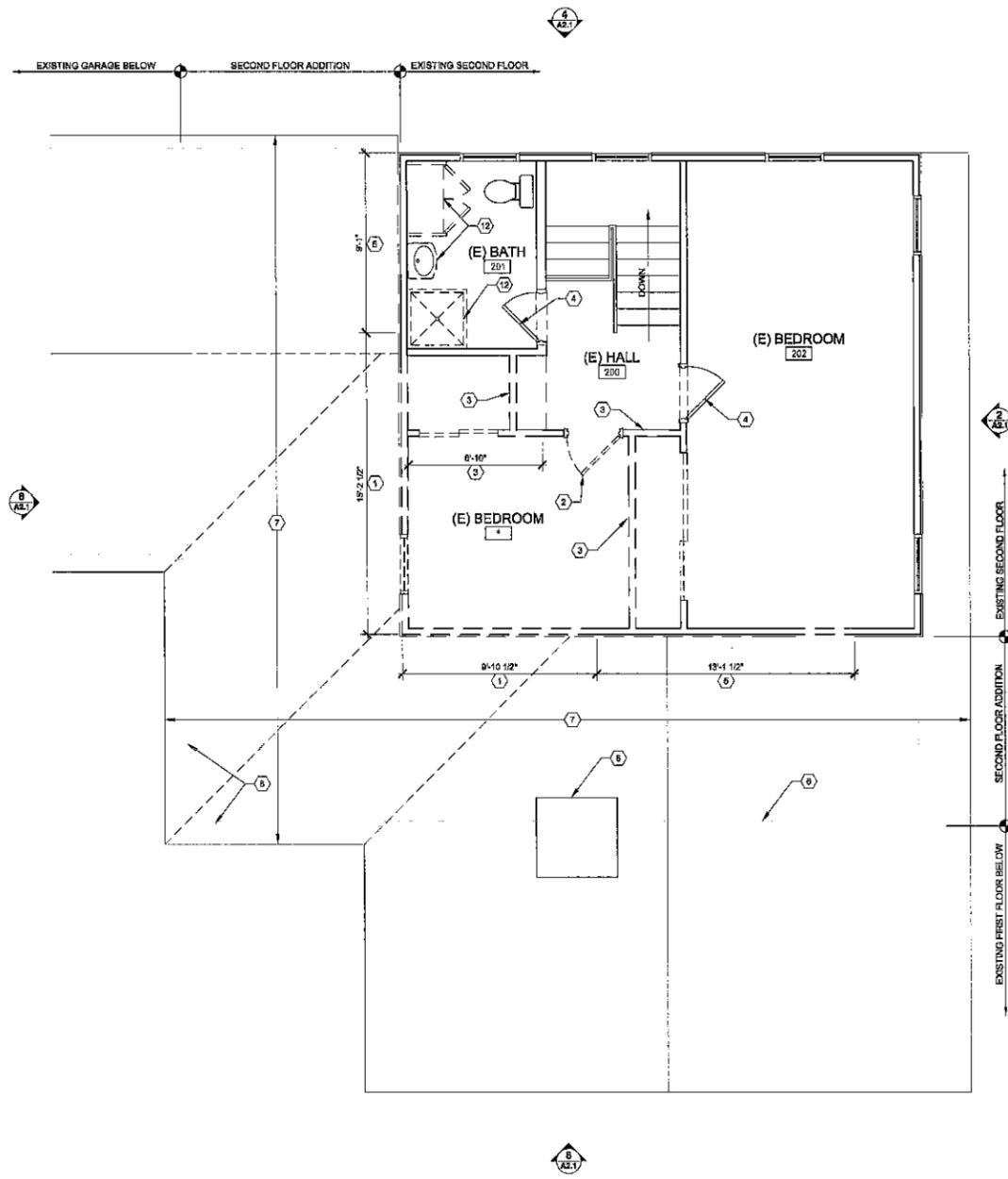
ARCH. REVIEW 2013.05.06

JOB NUMBER
13DI01

SHEET TITLE
PHOTOS - EXISTING HOUSE

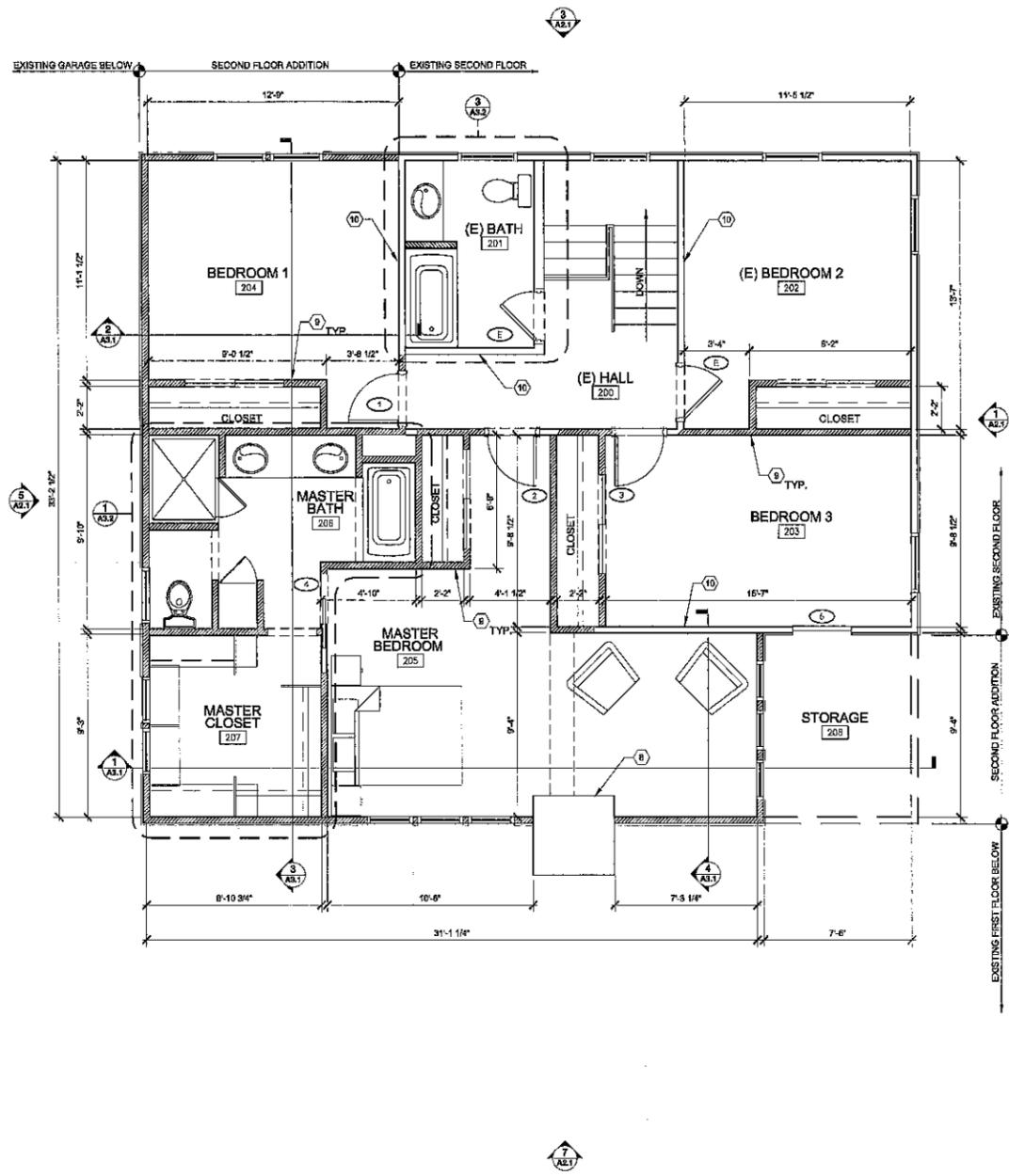
SHEET NUMBER:

A0.1



1 DEMOLITION/EXISTING CONDITION PLAN

Scale: 1/4" = 1'-0"



2 DIMENSIONED AND NOTED FLOOR PLAN

Scale: 1/4" = 1'-0"

DEMOLITION GENERAL NOTES

1. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE ITEMS SHOWN ON THE ARCHITECTURAL DRAWINGS. CONTRACTOR TO FOLLOW BEST TRADE PRACTICES AND ENGINEERING REGARDING INSTALLATION OF ALL PRODUCTS INDICATED AND DETAILED WITHIN THESE DRAWINGS.
2. GENERAL CONTRACTOR IS NOT TO SCALE DRAWINGS TO DETERMINE DIMENSIONS FOR THE PURPOSES OF CONSTRUCTION. ONLY WRITTEN DIMENSIONS ARE TO BE USED FOR MEASUREMENT.
3. GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES WITH FIELD CONDITIONS BEFORE PROCEEDING WITH WORK.
4. CONTRACTOR SHALL COORDINATE WITH OWNER WHICH ITEMS SHALL BE SALVAGED, DISPOSED OF OR REUSED PRIOR TO THE COMMENCEMENT OF DEMOLITION.

GENERAL NOTES

1. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE ITEMS SHOWN ON THE ARCHITECTURAL DRAWINGS. CONTRACTOR TO FOLLOW BEST TRADE PRACTICES AND ENGINEERING REGARDING INSTALLATION OF ALL PRODUCTS INDICATED AND DETAILED WITHIN THESE DRAWINGS.
2. GENERAL CONTRACTOR IS NOT TO SCALE DRAWINGS TO DETERMINE DIMENSIONS FOR THE PURPOSES OF CONSTRUCTION. ONLY WRITTEN DIMENSIONS ARE TO BE USED FOR MEASUREMENT.
3. GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES WITH FIELD CONDITIONS BEFORE PROCEEDING WITH WORK.
4. ALL EQUIPMENT SUPPLIERS SHALL PROVIDE SHOP DRAWINGS AND SPECIFICATIONS FOR ALL PRODUCTS AND EQUIPMENT PROVIDED.
5. ALL DIMENSIONS ARE TO FACE OF MASONRY OR STUD. ALL INTERIOR STUDS ARE 2x4 NOMINAL WOOD STUDS, UNLESS NOTED OTHERWISE.

KEYED NOTES

- 1 REMOVE PORTION OF EXISTING EXTERIOR STUD WALLS AS SHOWN (DASHED). REMOVE ANY ELECTRIC IN WALL, CAP BACK TO SOURCE OR NEAREST JUNCTION BOX. REFER TO PLAN 2/A1.1 AND SECTIONS FOR ADDITIONAL INFORMATION REGARDING AREA OF EXTENTS OF WALL TO BE REMOVED.
- 2 EXISTING DOOR AND FRAME TO BE REMOVED AND SALVAGED PER OWNER'S DIRECTION.
- 3 REMOVE PORTION OF EXISTING INTERIOR STUD WALLS AS SHOWN (DASHED). REMOVE ANY ELECTRIC IN WALL, CAP BACK TO SOURCE OR NEAREST JUNCTION BOX. REFER TO PLAN 2/A1.1 AND SECTIONS FOR ADDITIONAL INFORMATION REGARDING AREA OF EXTENTS OF WALL TO BE REMOVED.
- 4 EXISTING DOOR AND FRAME TO REMAIN. REFER TO PLAN 2/A1.1 FOR ADDITIONAL INFORMATION.
- 5 EXISTING EXTERIOR SIDING TO BE REMOVED FROM THIS PORTION OF WALL.
- 6 EXISTING STUD WALL BELOW ON FIRST FLOOR. SHOWN FOR REFERENCE.
- 7 EXISTING ROOF AT FIRST FLOOR TO BE REMOVED FOR EXPANSION OF SECOND FLOOR.
- 8 EXISTING MASONRY CHIMNEY FOR FIREPLACE TO REMAIN.
- 9 NEW 2x4 AT 24" O.C. STUD WALL WITH 1/2" GYPSUM BOARD EACH SIDE, TYPICAL ON INTERIOR WALLS.
- 10 EXISTING WOOD STUD AND GYPSUM BOARD INTERIOR WALL TO REMAIN.
- 11 ACCESS DOOR TO UNDER ROOF STORAGE AREA.
- 12 REMOVE EXISTING SHOWER, SINK AND LINEN CLOSET, SHOWN DASHED. REFER TO PLAN 2/A1.1 FOR NEW BATHROOM LAYOUT.

REAL ESTATE DEVELOPMENT CONSULTING
ARCHITECTURE + ENVIRONMENTAL + CIVIL ENGINEERING
DEVELOPMENT SERVICES

614.562.4395 - 6475 E. MAIN ST., REYNOLDSBURG, OH 43068 - 614.565.3076

PROPERTY OWNER:
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Bexley, Ohio 43209

SEAL



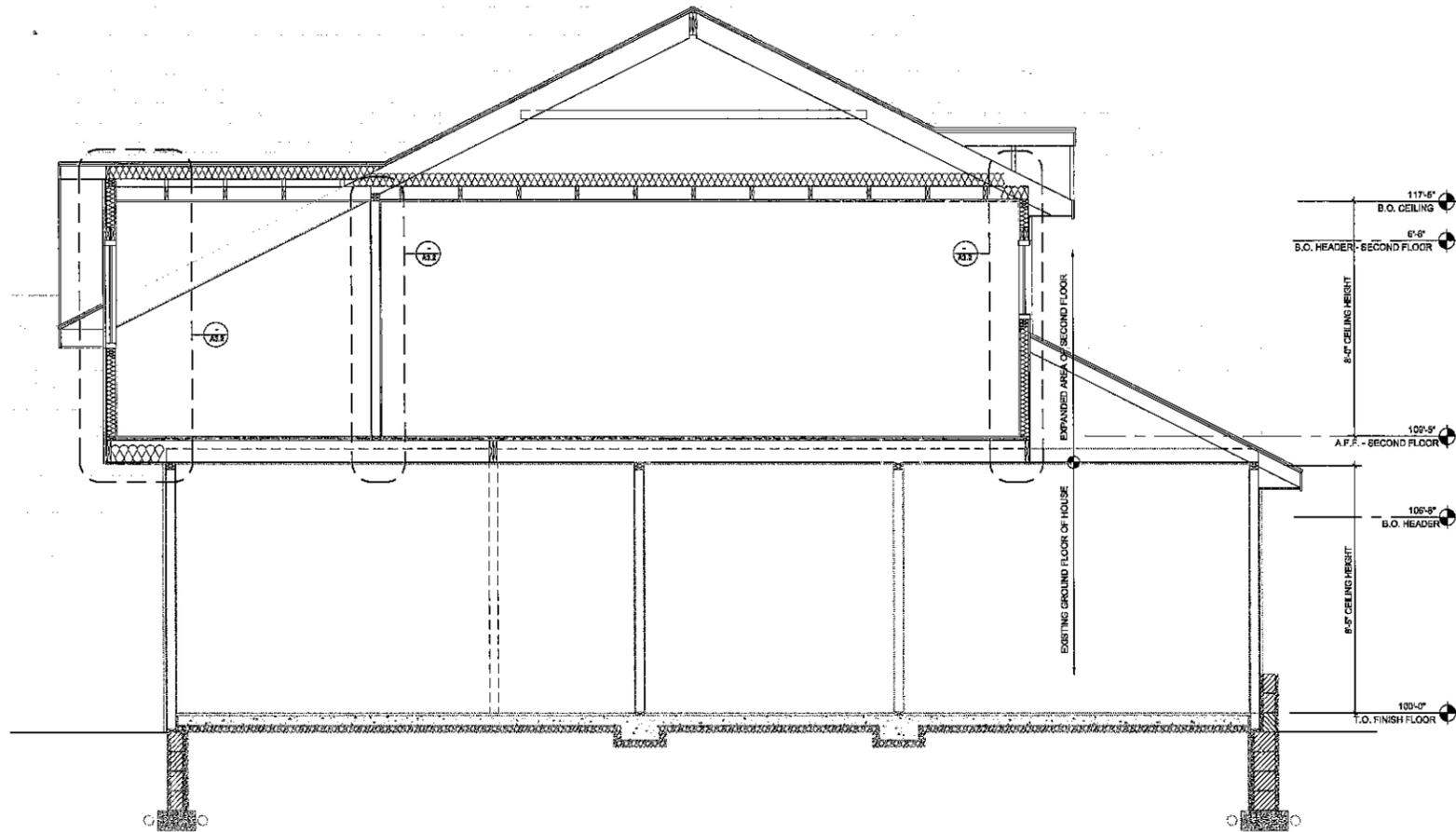
Kimberly R. Mikank
Lic. No. 12489
Expires: 12/31/2013

REVISION RECORD	
NO.	DATE

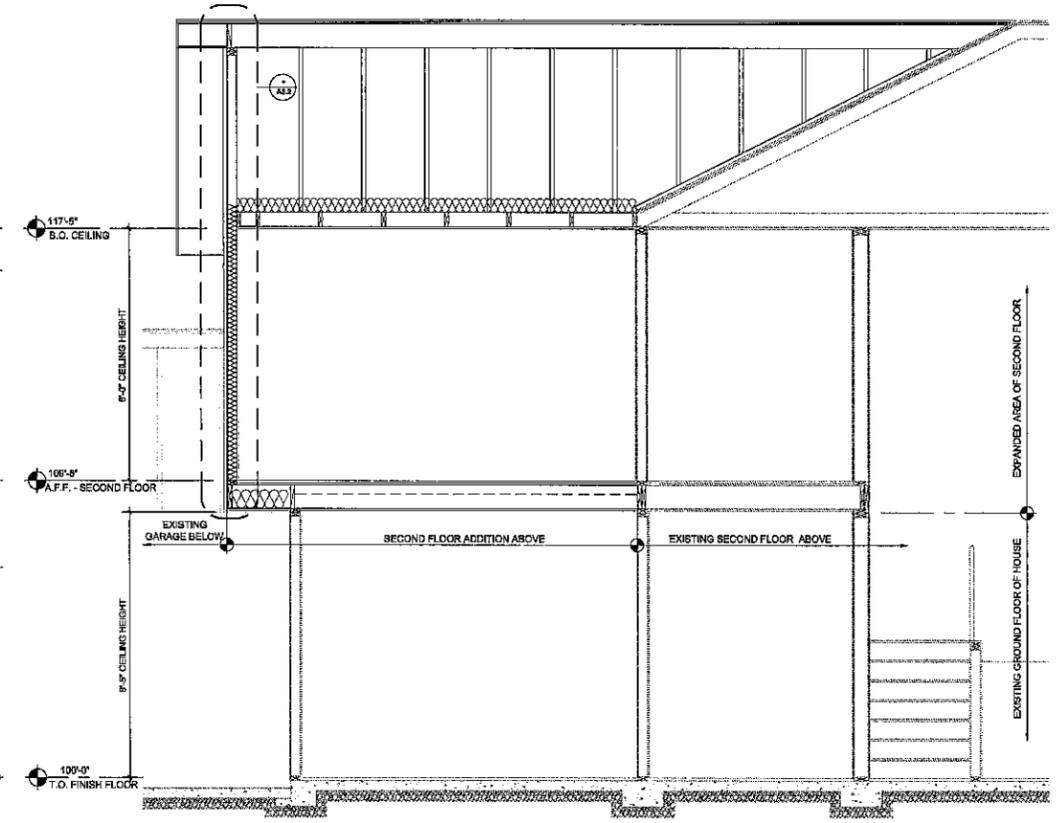
ARCH. REVIEW 2013.05.06

JOB NUMBER
13DI01
SHEET TITLE:
DIMENSIONED AND NOTED FLOOR PLAN
SHEET NUMBER:

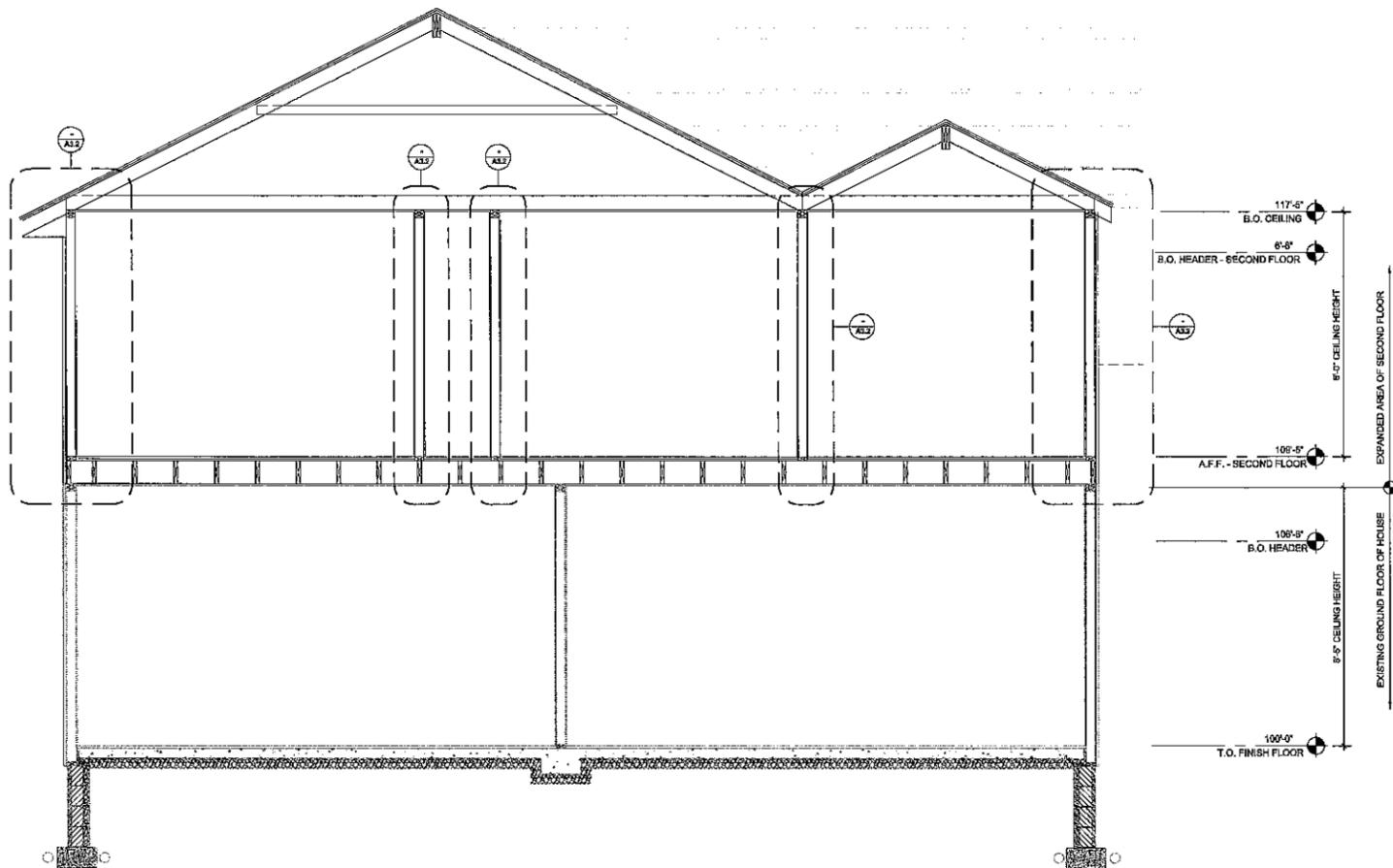
A1.1



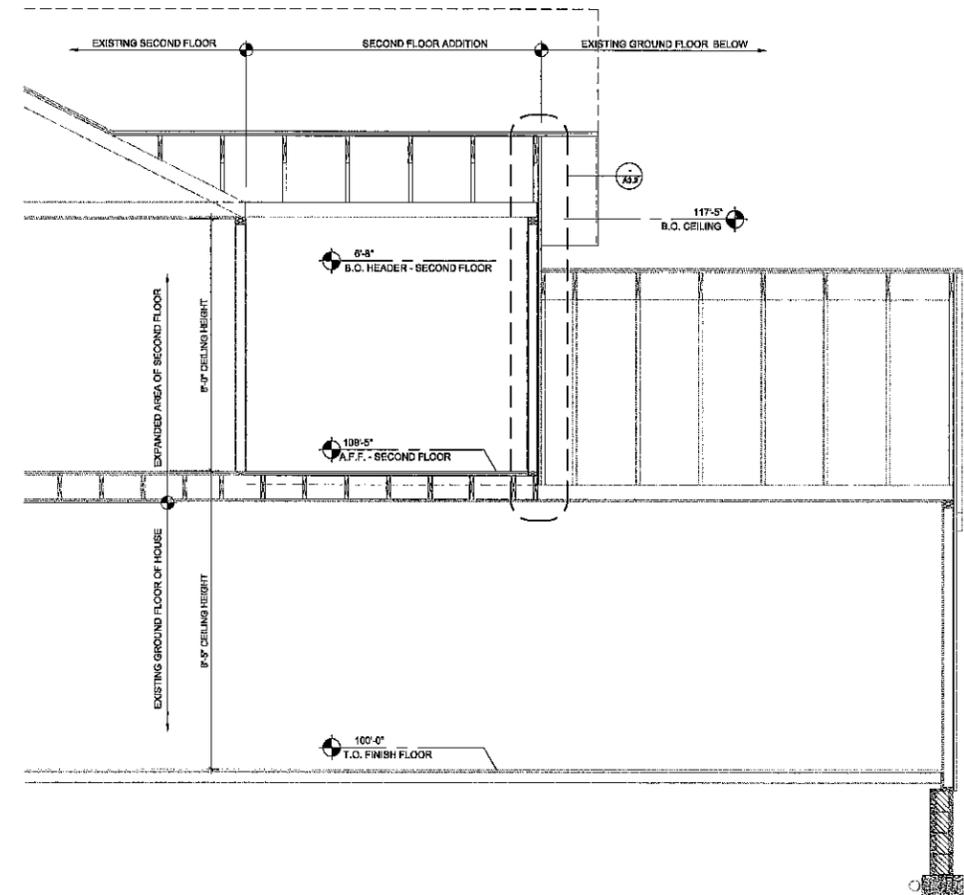
1 OVERALL BUILDING SECTION
Scale: 3/8" = 1'-0"



2 BUILDING SECTION
Scale: 3/8" = 1'-0"



3 OVERALL BUILDING SECTION
Scale: 3/8" = 1'-0"



4 BUILDING SECTION
Scale: 3/8" = 1'-0"

REAL ESTATE DEVELOPMENT CONSULTING
ARCHITECTURE + ENVIRONMENTAL + CIVIL ENGINEERING
DEVELOPMENT SERVICES
614.562.4395 - 6475 E. MAIN ST., REYNOLDSBURG, OH 43088 - 614.353.3076

PROPERTY OWNER:
Megan & Todd Dillon
2760 Bexley Park Drive
Bexley, Ohio 43209

Dillon Residence
Second Story Addition
2760 Bexley Park Road
Bexley, Ohio 43209

SEAL

 Kimberly R. Mikanic
Lic. No. 12489
Expires: 12/31/2013

REVISION RECORD

NO.	DATE

ARCH. REVIEW 2013.05.06

JOB NUMBER
13DI01
SHEET TITLE:
BUILDING SECTIONS, WALL
SECTIONS AND DETAILS
SHEET NUMBER:

A3.1