

PUBLIC NOTICE
CITY OF BEXLEY ARCHITECTURAL REVIEW BOARD
BOARD OF ZONING APPEALS

The Bexley Architectural Review Board will hold a Public Meeting on the following case on Thursday, August 8th, 2013, at 7:00 P. M., in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The Board of Zoning Appeals hears requests for Special Permits and Appeals for Variances to the requirements of the Zoning Code, Ordinance No.8-72.

SPECIAL NOTE TO THE APPLICANT: It is important that you or your representative be present at the Public Hearing. It is a rule of the Board to withdraw an application when a representative is not present.

Application No.: 13-0025
Applicant: Phillip Markwood Architects, Inc.
Owner: Bexley United Methodist Church
Location: 2657 E. Broad Street

REQUEST: The applicant is seeking architectural review and approval to allow a 4075sq', 2-story addition on the north side of the Bexley United Methodist Church, to accommodate a Family Life Center and Gathering Space. The applicant is also seeking a variance from Bexley Code Section 1256.02(f), to allow a (15 parking space) reduction in the required number of off-street parking spaces. **PLEASE NOTE:** This application was tabled at the June 13th 2013 BZA meeting.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Please contact the City of Bexley at 559-4240 at least 48 hours before the scheduled meeting if you need any accommodation or assistance in order to participate at the meeting.

Mailed by 08-01-2013



CITY OF BEXLEY

BOARD OF ZONING APPEALS and ARCHITECTURAL REVIEW APPLICATION

Application Number 20130025

1. Architectural Review for:

Addition Alteration _____ New Structure (_____)
_____ Demolition of a Principal Structure _____ Demolition of Garage

2. Variance For:

_____ Principal Structure _____ Garage _____ Fence _____ Other

3. Variance To:

_____ Front Yard Setback _____ Side Yard Setback _____ Rear Yard Setback _____ lot coverage

4. Conditional Use For: _____ Home Occupation _____ sq.' / height of structure

5. LOCATION 2657 East Broad Street
Columbus, Ohio 43209 Zoning District R-6
614-

6. OWNER Bexley United Methodist Church Phone # 231-2781 or Cell # _____
** If Applicant is NOT owner, a letter must be submitted giving applicant permission to represent the owner's review request.*

7. Applicant Phillip Markwood Architects, Inc. E-mail pmarkwood@markwoodarch.com Phone # 614-461-8300 or Cell# _____
Address Suite 140
240 N. Fifth St.. /City, State, Zip Columbus, Ohio 43215

8. Brief Description of Request and/or Variance Addition of Family Life Center and Gathering Space on North side of existing church.

9. Valuation of Project \$ 1,850,000

- APPLICATION REVIEW FEES, (based on valuation of the project):
\$90.00 – up to the first \$10,000 valuation. And \$5.00 for each additional \$10,000 valuation w/\$600 cap.
(Re-submittal fee \$50.00)

- VARIANCE REVIEW FEES:
Single Family \$100.00; Fences or Special Permit \$65.00; All others \$90.00

• SIGNATURE Phillip T Markwood /DATE 5/22/13

Fee: based on valuation	\$ <u>600.00</u>
Fee: based on variance	\$ <u>0.00</u>
Other	\$ <u>0.00</u>
TOTAL FEE DUE	\$ <u>600.00</u>

**Be advised, if the Board or Staff decides it needs the services of an independent expert (example: architect, landscape architect; planner; civil, environmental or traffic engineer; legal counsel, etc.) to assist it, it shall designate the person to be consulted and the cost of consultation thereof shall be paid by the Applicant in addition to the review filing fees. (Ord. 54-11)

• **LOT INFORMATION**

Address 2657 East Broad St. Columbus, OH 43209 Zoning District R-6

Lot Width 326.25 ft Depth 268.61 ft Total Area 86.710 sq ft

Existing Residence (foot print) 11.905 sq ft Garage 0 sq ft

Existing Building Height _____ one-story _____ two-story 40' three-story

Proposed Addition (foot print) 4,075 sq ft 35' Height _____ one-story X two-story

Proposed Garage _____ sq.ft. _____ Height _____ one-story _____ two-story

Permitted Lot Coverage 35 % = 30,348 sq ft

Lot to be covered 18 % = 15,675 sq ft

Please submit a **SITE PLAN**, which gives the setback from all existing structures to front, side and rear property lines. Indicate proposed addition or proposed structure and indicate how far it is setback from the front, side and rear property lines. Also include the distance between the principal structure and detached garage.

• **ARCHITECTURAL INFORMATION**

Architect and/or Residential Designer Phillip Markwood Architects, Inc.

Contractor/Builder To be determined

Preliminary Review X Final Review _____

• **DESCRIPTION OF CHANGES PROPOSED** Add two-story addition to the church.

• **DESCRIPTION OF ANY EXTENUATING CIRCUMSTANCES TO BE CONSIDERED**

See attached "Design Description".

Please indicate: the existing materials and the proposed changes of exterior materials to be used in the completion of your design project. Check all that apply in each category below:

• **ROOFING** House Only / Garage Only / House & Garage Church

- Existing Roof Type:
 - Slate Clay Tile Wood Shake Standard 3-Tab Asphalt Shingle
 - Architectural Dimensional Shingles EPDM (rubber) Roofing Metal

2. New Shingle Manufacturer: DMI or equal.

3. New Roofing Type, Style & Color: 1" High Snap-on Seam Metal Roof and 60 mil Black EPDM Rubber Roofing.

• **WINDOWS**

1. Existing Window Style:

Casement Double Hung Horizontal Sliding Awning
 Fixed Exterior Storm Other: Interior Storm

2. Existing Window Materials:

Wood Vinyl Vinyl Clad Wood Aluminum Clad Wood
 Aluminum Metal Other: _____
Alum. Clad Wood, Pella or Equal;

3. New Window Manufacturer: Aluminum Storefront Kawneer or Equal, and Aluminum Curtainwall

4. New Window Style, Material & Color: Fixed Metal, Tan similar to existing tan color.

• **DOORS**

Existing Exterior Doors (Accurately indicate door style on exterior elevations of drawings)

1. Entrance Door Type Wood Insulated Metal Fiberglass
 Sidelights Transom Window (some)

2. Garage Door Type Wood Insulated Metal Fiberglass

3. Door Finish Stained Painted

Proposed Door Type Not Applicable /Style _____ Color _____

• **EXTERIOR WALL FINISHES**

TYPE		Manufacture, Style, Color	
Existing	Proposed		
(x)	(x)	Natural Stone	<u>Cut limestone</u>
()	(x)	Cultured Stone	<u>Arriscraft Citadel Ashlar Stone</u> — Color Cashmere
()	()	Brick	_____ or Equal to
(x)	(x)	Mortar	<u>Regular mortar; style to match</u> _____ match existing.
()	()	Stucco	_____ existing.
()	()	Wood Shingle	_____
()	()	Wood Siding	_____
()	()	Vinyl Siding	_____
()	()	Aluminum Siding	_____
()	()	Other _____	_____

• **EXTERIOR TRIM**

1. Existing Door Trim:

Cedar Redwood Pine Vinyl
 Wood composite Aluminum Clad Molding
 Standard lumber Profile Other: Oak Wood

2. Existing Window Trim:

Cedar Redwood Pine Vinyl
 Wood composite Aluminum Clad Molding
 Standard lumber Profile Other: _____

3. Proposed NEW Door Trim: Not Applicable

4. Proposed NEW Window Trim: Metal

5. Trim: Color(s): Tan similar to existing

** Do the proposed changes affect the overhangs? No

• **DECKS**

EXISTING:

1. Existing Decking Materials - Not Applicable
 Cedar Pressure-treated wood Wood/Plastic Composite
 Other _____

2. Existing Railing Materials - Not Applicable
 Cedar Pressure-treated wood Wood/Plastic Composite
 Other _____

PROPOSED:

3. Proposed Decking Materials - Not Applicable
 Cedar Pressure-treated wood Wood/Plastic Composite
 Other _____

4. Proposed Railing Materials - Not Applicable

5. Existing Railing Materials - Not Applicable
 Cedar Pressure-treated wood Wood/Plastic Composite
 Other _____

----- TO BE COMPLETED BY RESIDENTIAL DESIGN CONSULTANT -----

Date of Review _____ Approved By _____

To be reviewed by the BZA on: _____

Conditions / Stipulations: _____

Bexley United Methodist Church

2657 E. Broad Street

Design Description

July 23, 2013

Church Needs

- There is a need for a larger and more appropriate space for contemporary worship which has outgrown the basement space.
- There is a need for a gathering space to serve the existing sanctuary and new contemporary worship space (Family Life Center) on the same level.
- Office space needs to be renovated.
- Classrooms need to be upgraded for the Church and BUMP Daycare.

Design Description - Site

- The existing parking lot for the 550 seat Sanctuary will remain unchanged.
- The Church has an agreement with one of the local synagogues to share parking lots.
- Utilities and services in the south alley will remain unchanged.
- The two residential structures will remain unchanged.
- The footprint of the existing building will only be increased by 32%.
- The total building square footage will only be increased by 26%.
- BUMC with the addition is significantly smaller than the two Synagogues that are 2 blocks away. **(See Site Plan)**
- Functionally, the addition needs to be on the north side of the building and will not meet the needs of the Church on the south, but options were considered on the south.
 - **Site Plan South 1:** If the addition is located to the south, a house and garage will have to be demolished. The building will encroach on the north-south alley and several utilities in the east-west alley will have to be relocated. A new stairwell and corridor would be required to maintain egress from the main level and upper level.
 - **Site Plan South 2:** If the addition is located to the southwest, a house and garage will have to be demolished. The building will extend beyond the rear yard setback line and several utilities in the east-west alley will have to be relocated. A new stairwell and corridor would be required to maintain egress from the main level and upper level.
- Site landscape will remain unchanged except for the removal of some bushes and one tree in the vicinity of the addition.
- The existing Broad St. sidewalk aligns with the new Gathering space. The new sidewalk from the parking lot aligns with the central axis of the FLC. The new north-south sidewalk, plantings and new trees will create a new "courtyard space" adjacent to the FLC. **(See Landscape Plan)**
- The addition is farther from the Broad Street building Setback line than the existing Sanctuary.

Design Description – Plan (See Drawings)

- The existing Sanctuary will be maintained for traditional worship.
- The existing Sanctuary occupancy of 550 will be reduced to 350 by removing pews to improve circulation.
- The new Family Life Center (FLC) addition will accommodate up to 390 for contemporary worship.
- Currently the Church has 2 separate services at 2 separate times; contemporary at 9 am and traditional at 11 am.
- The Gathering Space will serve both assembly spaces and provide access to the north sanctuary entry from the main level for processions, weddings and other events. It will also connect the Sanctuary front door to the rest of the building.
- A new kitchen will be provided adjacent to the FLC.
- Offices will be renovated for staff.
- Some classrooms will be renovated for the Sunday School and BUMP Daycare.
- Lower Level restrooms will be upgraded.

Design Description - Massing & Elevations (See Drawings)

Goals

- The addition follows the National Trust for Historic Preservation, Secretary of the Interior's Standards for Rehabilitation:
 - New work shall be differentiated from the old and be compatible with the historic materials, features, size, scale and proportion, and massing.
 - New additions will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.
 - The National Trust does NOT recommend:
 - Duplicating the exact form, material, style, and detailing of the historic building in a new addition so that the new work appears to be part of the historic building.
 - Imitating a historic style or period of architecture in a new addition.
- The existing building is a simple 20th century Tudor/Gothic revival style. The 20th century revival was distinguished by technological developments and simplified construction that continued to emphasize buttresses, verticality, light, expansive windows, majesty and symbolism.
- Historic buildings need to evolve so they do not become obsolete. The Church as a vibrant, changing, growing community needs a facility that can grow and change to meet its needs.
- Our goal for the addition is interpretation versus imitation. The addition is contemporary, but derivative of the traditional building. It is sensitive, respectful, simple, straight forward with attention to the details. The massing is asymmetrical but balanced with the contextual use of similar materials.

Massing & Elevations

- The massing and elevations have been modified significantly since the last submission.
- The existing exterior stone walls of the Sanctuary and Administration wing will remain exposed in the addition in the FLC and Gathering Space.
- The roof of the addition will engage the existing building below the existing gutters and above the existing windows.
- The sloped roof adds vertically and liturgical emphasis to the sacred space. The slope is derived from the existing massing. The sloped roof for the FLC has been lowered, but it will still screen the rooftop equipment from Broad Street.
- The ridge of the sloped roof for the FLC will be lower than the ridge of the Administration roof and Sanctuary roof.
- The massing, proportions, scale and size of the addition are similar to the existing building.
- The Sanctuary and north entry continue to be expressed as important features on the north façade.
- The main portion of the addition is distinguished from the existing building by glass walls so the existing stone walls can be visible inside and outside.
- The side of the FLC (facing Broad Street) is more open and transparent similar to the side of the Sanctuary facing Cassingham with the large stained glass windows. The east façade of the FLC is more solid and massive similar to the south façade of the Sanctuary. The east gable on the FLC is derivative of the north stair façade.

Materials

- Limestone and a similar ashlar stone will be used on the addition. The stone buttresses on the FLC are similar to the buttresses on the existing Sanctuary. The panelize stone above the FLC windows is similar to the panels on the administration wing.
- The existing roof has black EPDM and greenish-tan Ludowici clay tile. The new roof will have black EPDM on the flat roof and a metal standing seam roof on the sloped roof to distinguish the addition. The color of the metal roof will be compatible with the clay tile roof.
- Window proportions are similar to the existing building and also derived from traditional proportioning systems including the “golden section” and square. The main level windows will be metal curtain wall in a tan color similar to the existing metal windows. The lower level windows will be metal storefront in a tan color similar to the existing metal windows. The storefront will have glass in the front plan to match the curtain wall.
 - The two round windows in the gable ends of the FLC will be designed to accommodate future stained glass. They are similar to the two round windows in the gable ends of the Sanctuary.
 - The FLC windows facing Broad Street express verticality and variety in the A-B-B-B-A rhythm. Additional detail has been added to the upper windows with a dark gray ceramic frit pattern that is similar to the lead came in the existing panelized windows. A free-standing stained glass window of Jesus currently in the basement will be hung inside the FLC in the center bay facing Broad Street.
 - The windows in the Gathering space that face Broad Street are distinguished from the FLC with more verticality and additional 2 ¾” deep vertical only mullion covers to emphasize the vertical movement and create a stronger shadow line.



Bexley United Methodist Church

Site Plan

1:100



Bexley United Methodist Church
Site Plan - South 1
1:60



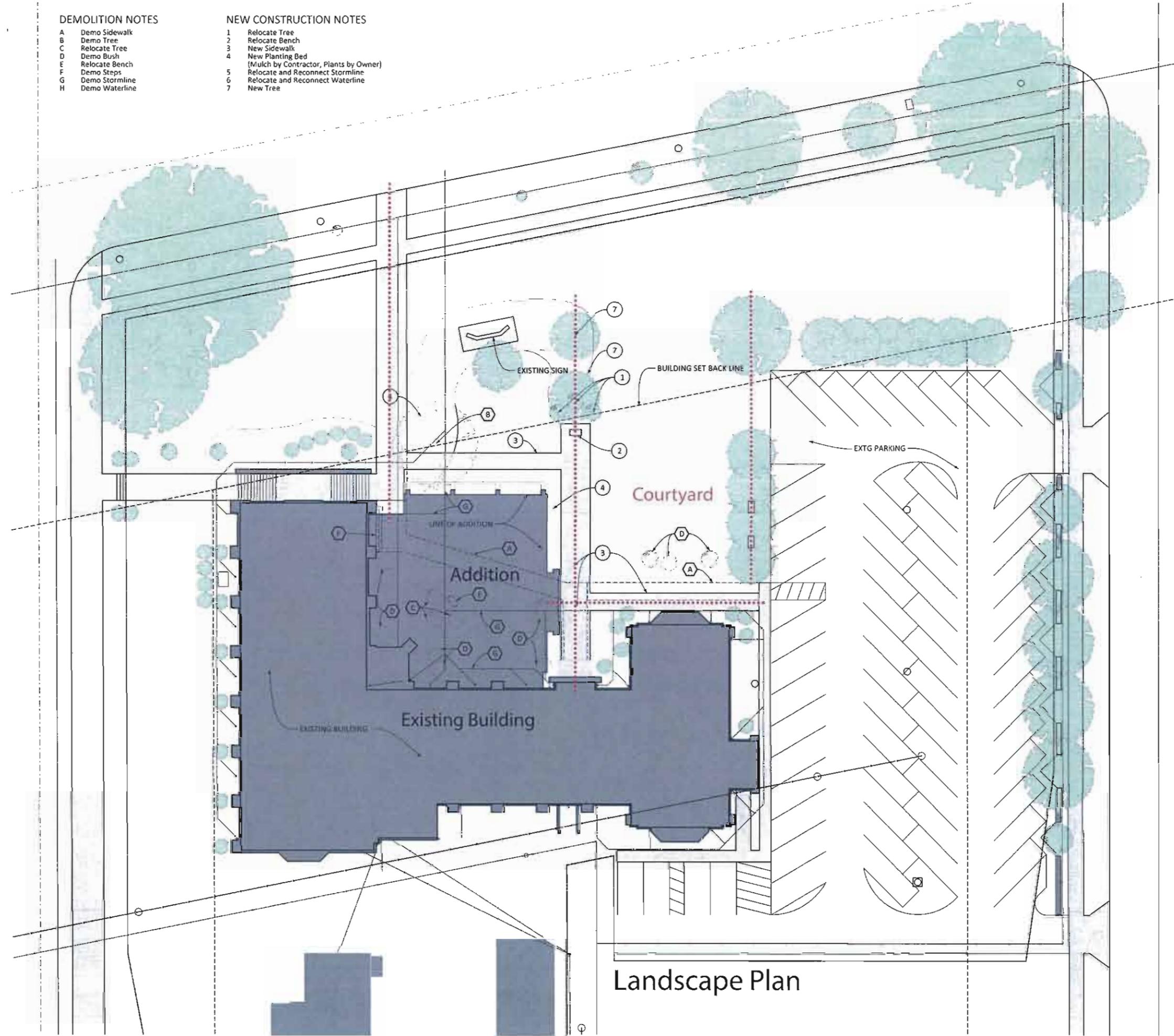
Bexley United Methodist Church
Site Plan - South 2
1:60

DEMOLITION NOTES

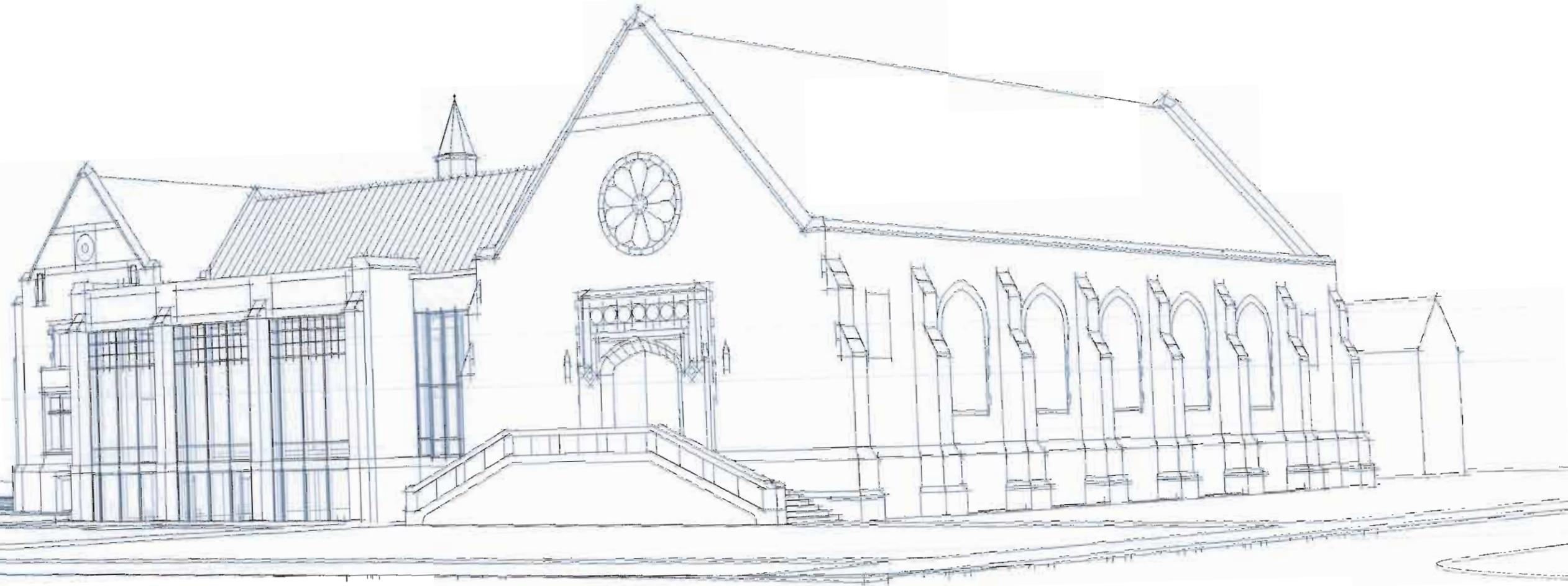
- A Demo Sidewalk
- B Demo Tree
- C Relocate Tree
- D Demo Bush
- E Relocate Bench
- F Demo Steps
- G Demo Stormline
- H Demo Waterline

NEW CONSTRUCTION NOTES

- 1 Relocate Tree
- 2 Relocate Bench
- 3 New Sidewalk
- 4 New Planting Bed (Mulch by Contractor, Plants by Owner)
- 5 Relocate and Reconnect Stormline
- 6 Relocate and Reconnect Waterline
- 7 New Tree



Landscape Plan

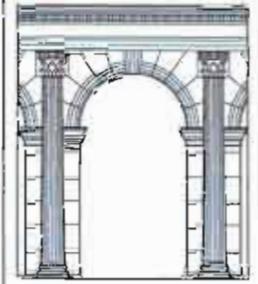


Bexley United Methodist Church
Broad & Cassingham
7-20-13



Bexley United Methodist Church
Broad & Remington
7-20-13

BEXLEY UNITED METHODIST CHURCH



Phillip Markwood
Architects Inc

240 North Fifth Street
Suite 140
Columbus, Ohio 43215

Tel 614.461.8300
Fax 614.461.8302

www.markwoodarch.com

Consultant

Project
Bexley United
Methodist Church

2657 L. Road
Bexley, Ohio 43209

Tel 614.231.2781

Project Number
2208

Dates
07/23/13 02A 03/04/14

Revisions Δ

Sheet Title
Cover
Index
Site
Sheet

A000

PROJECT ENGINEERS

Shelley Metz Baumann Hawk

1166 Dublin Road, Suite 200
Columbus, Ohio 43215
(T) 614-481-9800

(Structural)

O'Reilly Engineering Group, LLC

1291 Worthington Woods Boulevard
Worthington, Ohio 43085
(T) 614-846-0800

(Mechanical, Electrical, Plumbing)

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E102	Electrical Upper Level Floor Plan - Demolition and New Work
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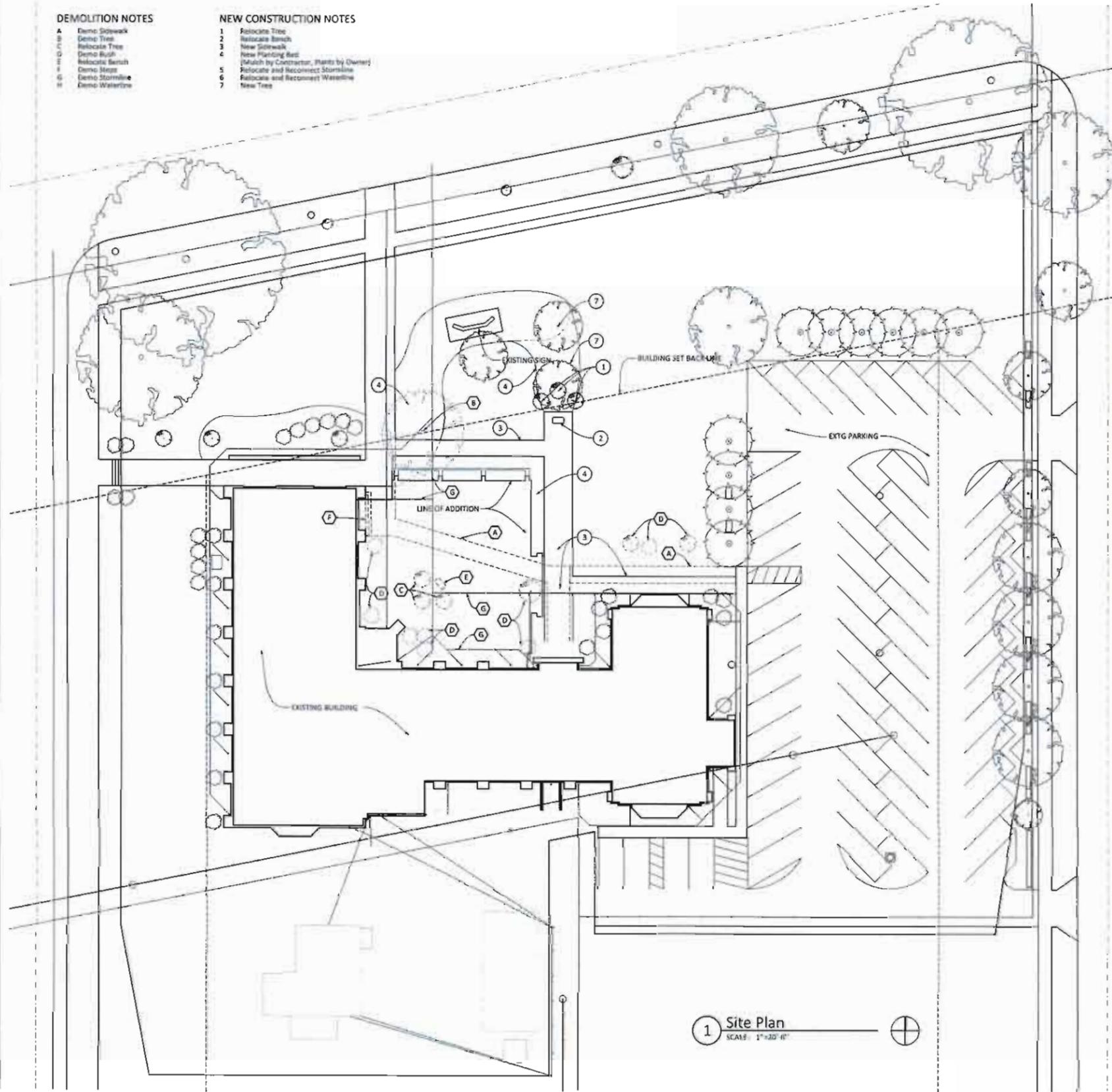
LOCATION MAP

DEMOLITION NOTES

- A Demo Sidewalk
- B Demo Tree
- C Relocate Tree
- D Demo Bush
- E Relocate Bush
- F Demo Steps
- G Demo Stormline
- H Demo Waterline

NEW CONSTRUCTION NOTES

- 1 Relocate Tree
- 2 Relocate Bush
- 3 New Sidewalk
- 4 New Planting Bed
- 5 Details by Contractor, Plants by Owner
- 6 Relocate and Reconnect Stormline
- 7 Relocate and Reconnect Waterline
- 8 New Tree



1 Site Plan
SCALE: 1"=30' 0"

Bexley United Methodist Church
CODE DATA ANALYSIS
 (Based on OBC, July 2011, Amended 3-15-12)
 April 12, 2013

TYPE OF WORK

A. NEW STRUCTURE	NO	NO
B. ADDITION	NO	YES
1. NEW FIRE WALL	NO	NO
C. ALTERATION	YES	NA
D. CHANGE OF USE	NO	NA
E. CHAPTER 34	?	?

USE AND OCCUPANCY CLASSIFICATION (Chapter 3)

A. USE GROUP CLASSIFICATION (302.1)		
Assembly A-3, Community Hall (302.3)	A3	A3
Sanctuary E, Office Space (304.1) (Accessory Use per 508.2)	Accessory Use	
Escalator E, Classroom (305.1), One Care (305.3)	E	

SPECIAL REQUIREMENTS (Chapter 4)

A. PLUMBING (403.4)	Yes	Yes
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GENERAL BUILDING HEIGHTS AND AREAS (Chapter 5)

A. TYPE OF CONSTRUCTION	Type IIIA	Type IIIA
B. ALLOWABLE BUILDING HEIGHT (Table 503)	3	3
1. ALLOWABLE STORES ABOVE GRADE (Table 503)	NA	NA
2. AUTOMATIC SPRINKLER INCREASE (504.2) (+1 Story)	NA	NA
3. ALLOWABLE FEET ABOVE GRADE (Table 503)	90	90
4. AUTOMATIC SPRINKLER INCREASE (504.2) (+2)	NA	NA
5. ACTUAL STORES ABOVE GRADE	3	2
6. ACTUAL FEET ABOVE GRADE	49	2

MEANS OF EGRESS (Chapter 6)

1. ALLOWABLE AREA (Table 503)	14,000	14,000
2. FRONTAGE INCREASE (504.2)	8 + 23%	8 + 23%
Sub Total with Frontage Increase	15,220	15,220
3. AUTOMATIC SPRINKLER INCREASE (506.3)	NA	NA
4. ALLOWABLE AREA WITH INCREASES (5 F.)	24,220	24,220
5. ACTUAL FLOOR AREAS		
a. LOWER LEVEL (Auditorium = 3,895 sq ft)	11,900	15,760
b. MAIN LEVEL (Auditorium = 4,075 sq ft)	11,820	15,895
c. UPPER LEVEL, including balcony	6,430	6,430
d. Mezzanine (Balcony) (305.1)	900	
6. MIXED USE AND OCCUPANCY (508)		
a. Accessory Occupancies (508.2)	?	?
b. Separated Incidental Accessory spaces (508.2.5) Furnace, Boiler	?	?
c. Non-Separated Occupancies (508.3)	YES	YES
d. Separated Occupancies (508.4)	NO	NO
e. Separation (Table 508.4)	NA	NA

TYPES OF CONSTRUCTION (Chapter 6)

A. FIRE RESISTANCE RATING OF BUILDING ELEMENTS (TABLE 601)		
1. STRUCTURAL FRAME (Columns, Girders, Beams, Trusses)	1 HOUR	1 HOUR
2. BEARING WALLS		
a. EXTERIOR	2 HOUR	2 HOUR
b. INTERIOR	1 HOUR	1 HOUR
3. NONBEARING WALLS AND PARTITIONS		
a. EXTERIOR (Table 602)	0 HOUR	0 HOUR
b. NONBEARING WALLS AND PARTITIONS		
a. INTERIOR (Not less than required by other sections of the code)	0 HOUR	0 HOUR
4. FLOOR CONSTRUCTION (Including secondary members)	1 HOUR	1 HOUR
5. ROOF CONSTRUCTION (Including secondary members)	1 HOUR	1 HOUR

FIRE AND SMOKE PROTECTION FEATURES (Chapter 7)

A. FIRE WALLS (708) Table 708.4	NA	NA
B. FIRE BARRIERS (707)		
1. SHAFT ENCLOSURES (707.3.1) shall comply with 708.4	1 HOUR	1 HOUR
2. EXIT ENCLOSURE (707.3.2) shall comply with 1022.1	1 HOUR	1 HOUR
3. EXIT PASSAGEWAY (707.3.3) shall comply with 1023.3	NA	NA
4. HORIZONTAL EXIT (707.3.4) shall comply with 1025.1	NA	NA
5. ATRIUMS (707.3.5) shall comply with 404.8	NA	NA
6. INCIDENTAL USE AREAS (707.3.6) Per Table 503.2.5	SEE PLAN	SEE PLAN
7. CONTROL AREAS (707.3.7) Per Section 414.2.4	NA	NA
8. SEPARATION OF MIXED OCCUPANCIES (707.3.8) Per Section 508.4	NA	NA
9. FIRE AREAS (707.3.9) Per Table 707.3.9	2 HOUR	2 HOUR
C. SHAFT ENCLOSURES (709)	1 HOUR	1 HOUR
D. FIRE PARTITIONS (709) Corridor walls per Table 1018.1	1 HOUR	1 HOUR
E. SMOKE BARRIERS (710)	?	?
F. SMOKE PARTITIONS (711)	?	?
G. HORIZONTAL ASSEMBLIES (712) Per Section 508.4	2 HOUR	2 HOUR
H. OPENING PROTECTIVES (715)	SEE PLAN	SEE PLAN

FIRE PROTECTION SYSTEMS (Chapter 8)

A. AUTOMATIC SPRINKLER SYSTEM (802)	REQUIRED (M & U) UNEXCEPTED (M & U) (F)	
B. ALTERNATIVE AUTOMATIC FIRE EXTINGUISHING SYSTEMS (804)		
C. STANDPIPE SYSTEM (905)	YES	YES
D. PORTABLE FIRE EXTINGUISHERS (908)	YES	YES
E. FIRE ALARM AND DETECTION SYSTEMS (907)	YES	YES
F. EMERGENCY ALARM SYSTEMS (908)	NA	NA
G. SMOKE CONTROL SYSTEMS (909)	NA	NA
H. SMOKE AND HEAT VENTS (910)	NA	NA

MEANS OF EGRESS (Chapter 10)

A. DESIGN OCCUPANT LOAD (1004.1)		
1. Occupant load determined by Table 1004.1.1 and by Exception in Section 1004.1.1		
B. EGRESS WIDTH (Table 1006.1)		
1. Width shall be 15" per occupant in other egress components		
C. DOORS, GATES AND TURNSTILES (1008)		
1. Minimum width of each door shall be 32" clear (1008.1.1)		
2. Horizontal sliding doors are permitted in a means of egress (per 1008.1.2 Exception 6) that comply with Section 1008.1.3.3		
3. Doors shall swing in the direction of egress travel where serving an occupant load of 50 or more persons (Section 1008.1.2)		
4. Each door in a means of egress from a Group A occupancy of 50 or more shall not have a lock or latch unless it is panic hardware		
5. Electrical rooms that meet 1008.1.8 shall have doors with panic hardware and swing in the direction of egress		
D. EXIT SIGNS (1011)		
1. Exit sign placement shall be such that no point in the corridor is more than 100 feet or the listed viewing distance for the sign, whichever is less, from the nearest visible exit sign		
E. GUARDS (1013)		
1. Guards are not required on the audience side of stages and raised platforms including traps leading up to the stage and raised platforms (1013.1, Exception 2)		
F. EXIT ACCESS (1014)		
1. Signs shall not be placed through adjoining rooms, corridors where the rooms are accessory to the area served, not high impact and outside a door or gate of egress (1014.2)		
2. Common path of egress travel in occupancy A & E shall not exceed 75' per 1014.3		
G. EXIT AND EXIT ACCESS DOORWAYS (1015)		
1. Two exits or exit access doorways from any space shall be provided in Uses A and E, when the occupant load exceeds 49 per 1015.1.		
2. The separation of two exits shall be not less than 1/2 of the length of the maximum overall diagonal dimension of the area served by a building without a sprinkler system per 1015.2		
3. Two exit access doors are required for boiler and furnace rooms where the area is over 300 sq ft and any fuel equipment exceeds 400,000 Btu and the exits shall be 1/2 the diagonal dimension of the area served by a building without a sprinkler system per 1015.2		
H. EXIT ACCESS TRAVEL DISTANCE (1016)		
1. The travel distance shall be 200' for Use A & E in a building without a sprinkler system from the most remote point to an exit per 1016.1		
I. CORRIDORS (1017)		
1. Corridor walls are not required to be fire resistance rated in Uses A and E in a building with an occupant load over than 30 persons per Table 1017.1.		

Bexley United Methodist Church
CODE DATA ANALYSIS
 (Based on OBC, July 2011, Amended 3-15-12)
 April 12, 2013

PLUMBING SYSTEMS (Chapter 2)

USE GROUP: Assembly, A-3
 TOTAL OCCUPANCY: 1444

Table 2902.1	WC	LAV	WC	LAV	TUBS/SHOWERS	DRINKING FOUNTAINS	SERVICE SINK
Number	5.76	3.81	11.17	3.87	NA	1.444	

UNISEX: 1109.2.1 when 8 or more Assembly fixtures required
 Provided: NA NA NA NA NA

USE GROUP: Education, E
 TOTAL OCCUPANCY: 180

Table 2902.1	WC	LAV	WC	LAV	TUBS/SHOWERS	DRINKING FOUNTAINS	SERVICE SINK
Number	1.60	1.60	3.60	1.60	NA	1.9	

USE GROUP: Business, B
 TOTAL OCCUPANCY: 12

Table 2902.1	WC	LAV	WC	LAV	TUBS/SHOWERS	DRINKING FOUNTAINS	SINK
Number	0.12	0.08	0.12	0.08	NA	0.12	

Total Required: 7.50 5.29 12.88 5.29 NA 2.164
 Total Provided: 9 6 13 10 1 5 2

Exit Lower L: 5 3 4 3 0 2 1
 Exit Main L: 3 3 3 4 1 2 0
 Exit Upper L: 1 1 1 1 0 1 1
 New Main L: 3 2 3 2 1 5 2
 Exit Total: 9 6 13 10 1 5 2

Use Group: A-3, E
Construction Type: 3A
April 12 2013

3412.6.1 BUILDING HEIGHT

Formula: $H = \text{Allowable Height in Feet (Table 503)}$
 ASH = Existing Building Height in Feet = 49
 ASB = Allowable Height in Stories (Table 503) = 3
 BBS = Existing Story Height in Stories = 3
 CP = 1 if (ASH - BBS) is positive
 CP = 3412.6.5 (2) if (ASH - BBS) is negative

Height Value in Ft = $(ASH - BBS) + CP$
 Height Value in Stories = $(AS - BBS) + CP$
 Scores (Use lesser of above values) = 3-3 = 0

3412.6.2 BUILDING AREA

Formula: $AA = \text{Allowable Area}$
 SP = % Inc. for Sprinkler (304.3) = 0
 CP = % Inc. for Open Riser (306.2) = 100%

Total Allowable Area	14000
Total Occupancy	10200
Lower Level Actual (11900 + 2170)	19070
Main Level Actual (11900 + 2990)	14890
Upper Level Actual (8430)	8430
AA = $([BP-OP+100] \times \text{Area Table 503}) / 100$	24220
Area Value = $(AA/100) \times (\text{Actual area}/AA)$	

Score: 7.18
 Use: A-3, E

3412.6.3 COMPARTMENTATION

Category	Score	Use
A. 15,000 sq ft or more	8.7	0
B. 10,000 sq ft	6	5
C. 8,155 sq ft	9	8.7
D. 7,500 sq ft	10	10
E. 5,000 sq ft	14	15
F. 2,500 sq ft or less	18	20

NOTE: For areas between categories, the compartment value shall be obtained by linear interpolation.

3412.6.4 TENANT & DWELLING UNIT SEPARATIONS

Category	Score	Use
A. No fire partitions, incomplete fire partitions, no doors, doors not self-closing or automatic closing	0	0
B. Fire partitions or their assembly less than 1 hour fire resistance rating or not constructed in accordance with 709 or 712	-4	
C. Fire partitions with 1 hour or greater per 709 and floor assemblies with 1 to 2 hour rating per 712 or only one tenant within fire area	-3	
D. Fire barriers with 1 to 2 hr per 707 and floor assemblies with 2 hr or greater fire resistance rating per 712	0	
E. Fire barrier wall & floor assemblies with 2 hrs or greater fire resistance rating per 707 and 712	2	

3412.6.5 CORRIDOR WALLS

Category	Score	Use
A. No fire partitions, incomplete fire partitions, no doors, or doors not self-closing	-7	-5
B. Less than 1 hr fire resistance rating or not per 709.4	-3	-2
C. 1 hr to less than 2 hrs fire resistance rating with doors conforming to 715 or without corridors as permitted per 1016	0	0
D. 2 hrs or greater fire resistance rating, with doors conforming to 715	2	5

NOTE: Corridors not providing at least 1/2 the travel distance for all occupants on a floor shall use (B).

3412.6.6 VERTICAL OPENINGS

Category	Score	Use
A. None	0	0
B. Vertical Opening Value	3	3
CP = Protection Value (Table 3412.6.6.1)	2	2
CP = Construction Type Factor (Table 3412.6.6.2)	2	2

3412.6.7 HVAC SYSTEMS

Category	Score	Use
A. Plans not in accordance with Section 602 of Mechanical Code	0	0
B. Air movement in egress elements not in accordance with Section 1016.5	-3	
C. Both categories (A) & (B) above are satisfied	-15	
D. Condensate of HVAC System with Section 1016.5 and 602 of Mechanical Code	3	
E. Systems serving one story or a central boiler/condenser system without ductwork connecting two or more stories	5	

3412.6.8 AUTOMATIC FIRE DETECTION

Category	Score	Use
A. None	-20	-4
B. Existing smoke detectors in HVAC maintained with International Fire Code	-5	-2
C. Smoke detectors in HVAC per requirement for new buildings in Mechanical Code	0	0
D. Smoke detectors throughout all floor areas unless individual guest rooms, tenant suites and dwelling units	2	6
E. Smoke detectors installed throughout the building in rapid-response mode and major mechanical and storage spaces	6	6

3412.6.9 FIRE ALARM SYSTEMS

Category	Score	Use
A. None	-10	
B. Fire alarm with call boxes per 907.3 and alarm-indicating appliances per 907.8	-5	
C. Fire alarm system per 907 (Building Building)	0	
D. Category (C) and installed automatic signaling system and fire command station per 907.4.4 and 911	5	

NOTE: For fire alarm system with automatic signaling system, add 2 points to detection by a separate alarm device.

3412.6.10 SMOKE CONTROL

Category	Score	Use
A. None	0	0
B. Sprinklers throughout and openings (20 sq ft) provided throughout at 80' linear feet or closer to the exterior walls in each story, and the openings are readily openable	1	0
C. One enclosed exit stairway accessible and sign has opening per (B) above	2	0
D. One enclosed exit stairway and the building has opening per (B) above	3	1
E. Automatic sprinkler system and smoke control systems designed to exhaust the fire area	6	3
F. An alternate one of the two enclosed stairways per 1022.5, as prescribed per 908.20.5, is a non-pressurized exterior stairway	8	8

NOTE: Use 0 if compliance with (B) or (E) in 3412.6.10 is not met.

3412.6.11 MEANS OF EGRESS CAPACITY & NUMBER

Category	Score	Use
A. Minimum required means of egress capacity or number of exits achieved by use of a fire escape per 3406	-10	
B. Capacity and number of exits based on requirements of 1004 & 1007 respectively	5	
C. Capacity means of egress travel to exceed 120% of the required capacity and the means of egress comply when combined with doors and the maximum number of exits per 1007	2	
D. Number exits exceed the requirements of Section 1007. All exits shall be located remotely from each other per 1015.2	8	
E. Meet Category C & B	18	

NOTE: Values for exits 6 exits or less. For exits over 6 exits add -10 points.

3412.6.12 DEAD ENDS

Category	Score	Use
A. Dead end of 30' in unpressurized building or 70' in pressurized building	-2	
B. Dead end of 20' or 50' in use group B per 1018.4 exception 2	0	
C. No dead ends, or ratio of length to width is less than 2.5:1	2	

NOTE: For dead-end balconies between categories, the dead-end value shall be obtained by linear interpolation.

3412.6.13 MAX TRAVEL DISTANCE TO EXIT

Formula	Score	Use
Points = 20 x ((Max allow dist - min actual dist) / Max allow dist)	12.5	
Max allow dist	200(200-75000)	12.5

3412.6.14 ELEVATOR CONTROL

Category	Score	Use
A. No Control	-2	
B. Any elevator without Phase 1 or 7 recall	0	
C. All elevators with Phase 1 and 7 recall as required by International Fire Code	0	
D. All meet Category (C) or Category (B), where permitted to be without recall, and at least one elevator that complies with new construction requirements across all occupied floors	2	

3412.6.15 MEANS EGRESS EMERGENCY LIGHTING

Category	Score	Use
A. Means of egress lighting and exit signs are without emergency power per Chapter 27	10	
B. Means of egress lighting and exit signs on emergency power per Chapter 27	0	
C. Emergency power provided to means of egress lighting and exit signs which provides protection against power failure	4	

3412.6.16 MIXED OCCUPANCIES

Category	Score	Use
A. Minimum 1 hour fire barrier between occupancies	-8	
B. Fire barriers between occupancies per Section 508.4 or Non-separated	0	
C. Fire barrier between occupancies having the resistance rating of not less than twice that required by 503.3.3	5	

NOTE: For fire resistance ratings between categories, the value shall be obtained by linear interpolation (if non-separated, see 6).

3412.6.17 AUTOMATIC SPRINKLERS

Category	Score	Use
A. Sufficiently required, but not provided or the system provided is inadequate for the hazard protected per 903	-6	-3
B. Sprinklers not required, not provided	0	0
C. Sprinklers required in a portion and provided in such portion per applicable laws at the time of installation and is maintained per 903	3	2
D. Sprinklers required and provided throughout per Chapter 9	8	4
E. Sprinklers not required throughout, but provided throughout per Chapter 9	12	0

3412.6.18 STANDPIPE

Category	Score	Use
A. Standpipe required, not provided per 905.3	-12	-8
B. Standpipe not required, not provided	0	0
C. Standpipe required and provided per 905 (NOTE: Existing 1 1/2" manual wet standpipe system is acceptable if adequate water flow and add one hose cabinet to south stair upper level OR add new semi-automatic dry stand pipe system to north and south stairwells on main level and upper levels)	6	4
D. Standpipe not required, but provided per 905	12	8

3412.6.19 INCIDENTAL USE

Category	Score	Use
A. None	0	
B. 1 Hour	3	
C. Automatic fire suppression system	3	
D. Automatic fire suppression system and smoke partitions	8	
E. 1 hour and automatic fire suppression system	7	
F. 2 hour	8	
G. 2 hour and automatic fire suppression system	13	

Existing Occupancy	A-3 & E	Proposed Occupancy	A-3 & E		
Year Building was Constructed	1927-1948	Number of Stories	3		
Type of Construction	3A Area per Floor	Height in Feet	49		
Percent of Open Penetration	80%	LI: 15.5% MI: 16.8% UI: 6.4%			
Completely Suppressed	Yes	No	X		
Compartmentation	Yes	X	No		
Fire Resistance Rating of Vertical Opening Enclosures	2 HR	Corridor Wall Rating	1 HR Fire Partition min.		
Type of HVAC System	2 pipe Boiler/Chiller w/ fan coils	Ranking Number of Floors	All Floors		
Automatic Fire Detection	Yes	X	No		
Fire Alarm System	Yes	X	No		
Smoke Control	Yes	X	No		
Adequate Exit routes	Yes	X	No		
Max Exit Access Travel Distance	75	Dead Ends	Yes	No	
Means of Egress Emergency Lighting	Yes	X	No		
		Elevator Control	Yes	X	No
		Mixed Occupancies	Yes	X	No

Bexley United Methodist Church
Building Score Summary Sheet

SAFETY PARAMETERS	FIRE SAFETY (FS)	MEANS EGRESS (ME)	GENERAL SAFETY (GS)
3412.6.1 Building Height	3	2	3
3412.6.2 Building Area	7.2	7.5	7.2
3412.6.3 Compartmentation	8.7	8.7	8.7
3412.6.4 Tenant & Dwelling Unit Separation	0	0	0
3412.6.5 Corridor Walls	-3	-3	-3
3412.6.6 Vertical Openings	3	3	3
3412.6.7 HVAC Systems	3	3	3
3412.6.8 Automatic Fire Detection	6	6	6
3412.6.9 Fire Alarm System	0	0	0
3412.6.10 Smoke Control	NA	0	0
3412.6.11 Means of Egress	NA	10	10
3412.6.12 Dead Ends	NA	3	3
3412.6.13 Max. Travel Distance	NA	12.5	12.5
3412.6.14 Elevator Control	0	0	0
3412.6.15 Means Egress Emergency Lighting	NA	4	4
3412.6.16 Mixed Occupancies	0	NA	0
3412.6.17 Automatic Sprinklers	4	3	4
3412.6.18 Standpipe	4	4	4
3412.6.19 Incidental Accessory Occupancy	0	0	0
BUILDING SCORE TOTAL VALUE	26.58	58.38	58.38
A-3 MANDATORY SAFETY SCORES	18	29	30
E MANDATORY SAFETY SCORES	23	34	34
Pass/Fail	Pass	Pass	Pass

Phillip Markwood Architects Inc
 240 North Fifth Street
 Suite 140
 Columbus, Ohio 43215
 Tel 614.461.8300
 Fax 614.461.8302
 www.markwoodarch.com

Consultant

Project
Bexley United Methodist Church
 2657 E. Broad Street
 Bexley, Ohio 43209
 Tel 614-231-2781

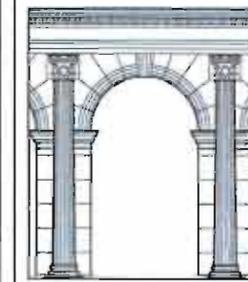
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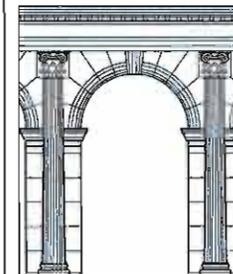
Dates
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Revisions Δ

Sheet Title
Code Data

Sheet
A002





Phillip Markwood Architects Inc

240 North Fifth Street
Suite 140
Columbus, Ohio 43215

Tel 614.461.8300
Fax 614.461.8302

www.markwoodarch.com

Consultant

Project
Bexley United Methodist Church

2657 E. Broad Street
Bexley, Ohio 43209

Tel 614-231-2781

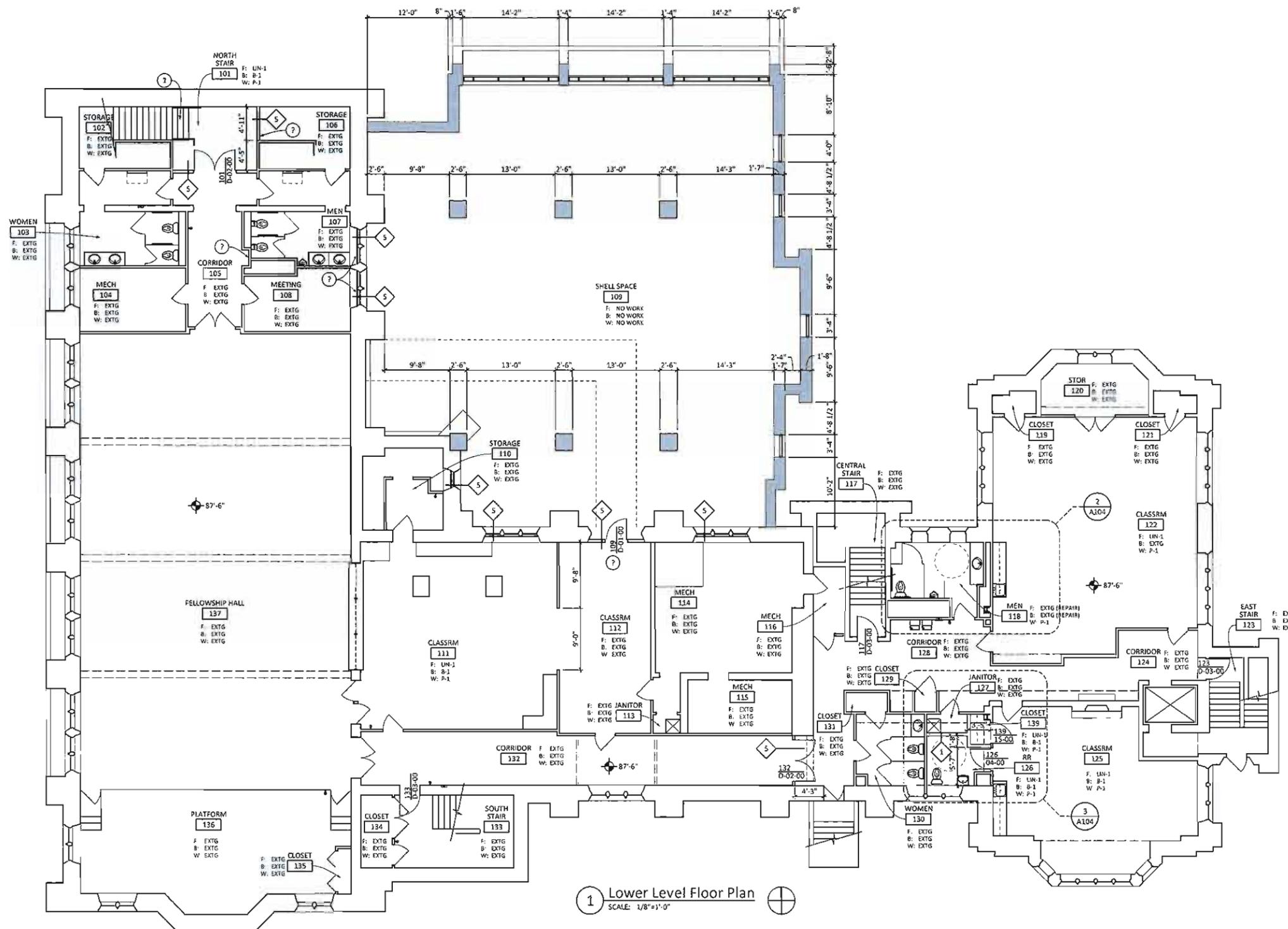
Project Number

1103

Dates

07/23/13 82A Submittal

Revisions Δ

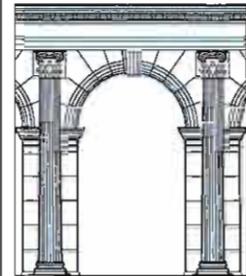


Finishes	Symbols Legend	Rated Assemblies	Partition Types	① Coded Notes	General Notes	
FLOORING SHEET (LINOLEUM): LN-1 CARPET: CPT-1 WOOD: WD-1 WALLBASE RESILIENT BASE: RB-1 STONE BASE: ST-1 WOOD BASE: WB-1 WALL FINISH PAINT: P-1 STONE: ST-1 WOOD PANELING: WP-1 WOOD TRIM: WT-1	DOOR NUMBER HARDWARE SET DOOR TYPE FIRE RATING WHEN APPLICABLE DENOTES PARTITION TYPE. DENOTES WINDOW TYPE. SEE SHEET A600. DENOTES DOOR TYPE. SEE SHEET A600. DENOTES EXISTING DOOR TO REMAIN.	ROOM 100 DENOTES ROOM NAME & ROOM NUMBER. DENOTES ROOM FINISHES. DENOTES FINISH FLOOR ELEVATION. EXISTING WALL MOUNT FIRE EXTINGUISHER TO REMAIN RELOCATED EXISTING WALL MOUNTED FIRE EXTINGUISHER	3HR RATED EXTERIOR BEARING WALL UL DESIGN NO U... (1) LAYER 5/8" TYPE X GYPSUM BOARD METAL FURRING 8" OR 10" CMU 1" RIGID INSULATION AIR SPACE STONE VENEER 2 HR RATED FLOOR/CEILING UL DESIGN NO U... 4" POURED IN PLACE CONCRETE SLAB 1 1/2" METAL DECK METAL FLOOR JOISTS (2) LAYER 5/8" TYPE X GYPSUM BOARD 2 HR RATED FLOOR/CEILING UL DESIGN NO U... 2 1/2" POURED IN PLACE EXISTING CONCRETE SLAB EXISTING POURED IN PLACE CONCRETE JOISTS	NON-RATED 5/8" GYP BD ON BOTH SIDES 3 5/8" MTL STUDS @ 16" OC NON-RATED 5/8" GYP BD ON ONE SIDE 6" MTL STUDS @ 16" OC NON-RATED 5/8" GYP BD ON BOTH SIDES 6" MTL STUDS @ 16" OC 1 HR RATED UL DES NO U456 5/8" TYPE X GYP BD ON BOTH SIDES 3 5/8" MTL STUDS @ 16" OC (20 MIN DOORS) 1 HR RATED UL DES NO U411 (2) LAYERS 5/8" TYPE X GYP BD ON BOTH SIDES 3 5/8" MTL STUDS @ 16" OC (90 MIN DOORS)	1. NEW OPERABLE PARTITION 2. SWING DOOR AND HARDWARE BY OPERABLE PARTITION MANUFACTURER 3. 20 MIN RATED OVERHEAD COILING COUNTER FIRE SHUTTER 4. 90 MIN RATED OVERHEAD COILING COUNTER FIRE SHUTTER 5. EXISTING STONE WALL TO REMAIN 6. SIGN TYPE 'A' SEE SHEET A600 7. SIGN TYPE 'B' & 'E' SEE SHEET A600 8. SIGN TYPE 'C' & 'D' SEE SHEET A600 9. SIGN TYPE 'F' SEE SHEET A600	1. DIMENSIONS ARE AS FOLLOWS UNLESS OTHERWISE NOTED: A. EXTERIOR DIMENSIONS ARE TO THE FACE OF MASONRY. B. INTERIOR DIMENSIONS ARE TO THE FACE OF WALL SURFACE. 2. ALL INTERIOR PARTITIONS TYPES SHALL TERMINATE AT UNDERSIDE OF FLOOR OR ATTIC DECK ABOVE. 3. ALL PARTITIONS ABOVE DOORS/BORROWED LIGHTS SHALL CONFORM TO THE WALL TYPE THERE-IN

Sheet Title

Lower Level Floor Plan
Sheet

A100



**Phillip Markwood
Architects Inc**

240 North Fifth Street
Suite 140
Columbus, Ohio 43215

Tel 614.461.8300
Fax 614.461.8302

www.markwoodarch.com

Consultant

Project
**Bexley United
Methodist Church**

3657 E. Broad Street
Bexley, Ohio 43209

Tel 614-231-2781

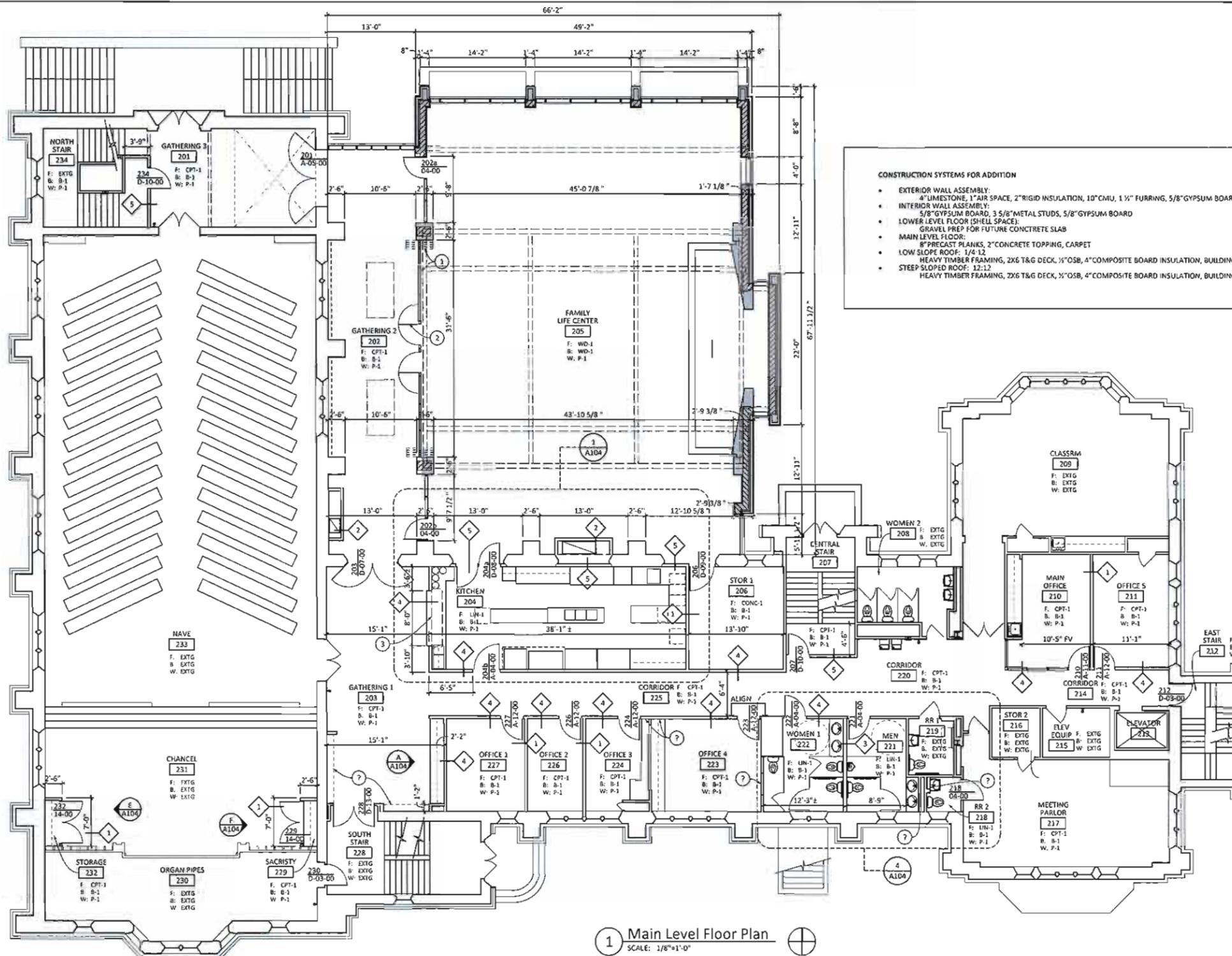
Project Number

1103

Dates

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Revisions Δ



CONSTRUCTION SYSTEMS FOR ADDITION

- EXTERIOR WALL ASSEMBLY:
4" LIMESTONE, 1" AIR SPACE, 2" RIGID INSULATION, 10" CMU, 1 1/2" FURRING, 5/8" GYPSUM BOARD
- INTERIOR WALL ASSEMBLY:
5/8" GYPSUM BOARD, 3 5/8" METAL STUDS, 5/8" GYPSUM BOARD
- LOWER LEVEL FLOOR (SHELL SPACE):
GRAVEL PREP FOR FUTURE CONCRETE SLAB
- MAIN LEVEL FLOOR:
8" PRECAST PLANKS, 2" CONCRETE TOPPING, CARPET
- LOW SLOPE ROOF: 1/4:12
HEAVY TIMBER FRAMING, 2X6 T&G DECK, 1/2" OSB, 4" COMPOSITE BOARD INSULATION, BUILDING PAPER, 1/2" COVER BOARD, 60 MILL EPDM
- STEEP SLOPED ROOF: 12:12
HEAVY TIMBER FRAMING, 2X6 T&G DECK, 1/2" OSB, 4" COMPOSITE BOARD INSULATION, BUILDING PAPER, SHINGLES

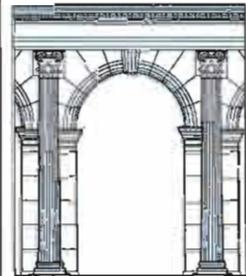
1 Main Level Floor Plan
SCALE: 1/8"=1'-0"

Finishes	Symbols Legend	Rated Assemblies	Partition Types	Coded Notes	General Notes	
FLOORING SHEET (UNOLEUM): LN-1 CARPET: CPT-1 WOOD: WD-1 WALLBASE RESILIENT BASE: RB-1 STONE BASE: ST-1 WOOD BASE: WB-1 WALL FINISH PAINT: P-1 STONE: SF-1 WOOD PANELING: WP-1 WOOD TRIM: WT-1	DOOR NUMBER 103 A-01-01 HARDWARE SET (Blank = NOT RATED) (A= 20 MIN) (B= 45 MIN) (C= 60 MIN) (D= 90 MIN) DOOR TYPE FIRE RATING WHEN APPLICABLE 2 DENOTES PARTITION TYPE. A DENOTES WINDOW TYPE. SEE SHEET A600. 000 00-00 DENOTES DOOR TYPE. SEE SHEET A600. DENOTES EXISTING DOOR TO REMAIN.	ROOM 100 DENOTES ROOM NAME & ROOM NUMBER. F: CPT-1 - Flooring B: B-1 - Wall Base W: P-1 - Wall Finish 100'-0" DENOTES FINISH FLOOR ELEVATION. FE-1 EXISTING WALL MOUNT FIRE EXTINGUISHER TO REMAIN FE-2 RELOCATED EXISTING WALL MOUNTED FIRE EXTINGUISHER	2HR RATED EXTERIOR BEARING WALL UL DESIGN NO U... (1) LAYER 5/8" TYPE X GYPSUM BOARD METAL FURRING 5" OR 10" CMU 2" RIGID INSULATION AIR SPACE STONE VENEER 2 HR RATED FLOOR/CEILING UL DESIGN NO U... 4" POURED IN PLACE CONCRETE SLAB 1 1/2" METAL DECK METAL FLOOR JOISTS (2) LAYER 5/8" TYPE X GYPSUM BOARD 2 HR RATED FLOOR/CEILING UL DESIGN NO U... 2 1/2" POURED IN PLACE EXISTING CONCRETE SLAB EXISTING POURED IN PLACE CONCRETE JOISTS	1 NON-RATED 5/8" GYP BD ON BOTH SIDES 3 5/8" MTL STUDS @ 16" OC 2 NON-RATED 5/8" GYP BD ON ONE SIDE 6" MTL STUDS @ 16" OC 3 NON-RATED 5/8" GYP BD ON BOTH SIDES 6" MTL STUDS @ 16" OC 4 1 HR RATED UL DES NO U456 5/8" TYPE X GYP BD ON BOTH SIDES 3 5/8" MTL STUDS @ 16" OC (20 MIN DOORS) 5 2 HR RATED UL DES NO U411 (2) LAYERS 5/8" TYPE X GYP BD ON BOTH SIDES 3 5/8" MTL STUDS @ 16" OC (90 MIN DOORS)	1. NEW OPERABLE PARTITION 2. SWING DOOR AND HARDWARE BY OPERABLE PARTITION MANUFACTURER 3. 20 MIN RATED OVERHEAD COILING COUNTER FIRE SHUTTER 4. 90 MIN RATED OVERHEAD COILING COUNTER FIRE SHUTTER 5. EXISTING STONE WALL TO REMAIN 6. SIGN TYPE 'A' SEE SHEET A600 7. SIGN TYPE 'B' & 'E' SEE SHEET A600 8. SIGN TYPE 'C' & 'D' SEE SHEET A600 9. SIGN TYPE 'F' SEE SHEET A600	1. DIMENSIONS ARE AS FOLLOWS UNLESS OTHERWISE NOTED: A. EXTERIOR DIMENSIONS ARE TO THE FACE OF MASONRY B. INTERIOR DIMENSIONS ARE TO THE FACE OF WALL SURFACE. 2. ALL INTERIOR PARTITIONS TYPES SHALL TERMINATE AT UNDERSIDE OF FLOOR OR ATTIC DECK ABOVE. 3. ALL PARTITIONS ABOVE DOORS/BORROWED LIGHTS SHALL CONFORM TO THE WALL TYPE THERE-IN.

Sheet Title

**Main Level
Floor Plan**
Sheet

A101



Phillip Markwood Architects Inc

240 North Fifth Street
Suite 140
Columbus, Ohio 43215

Tel 614.461.8300
Fax 614.461.8302

www.markwoodarch.com

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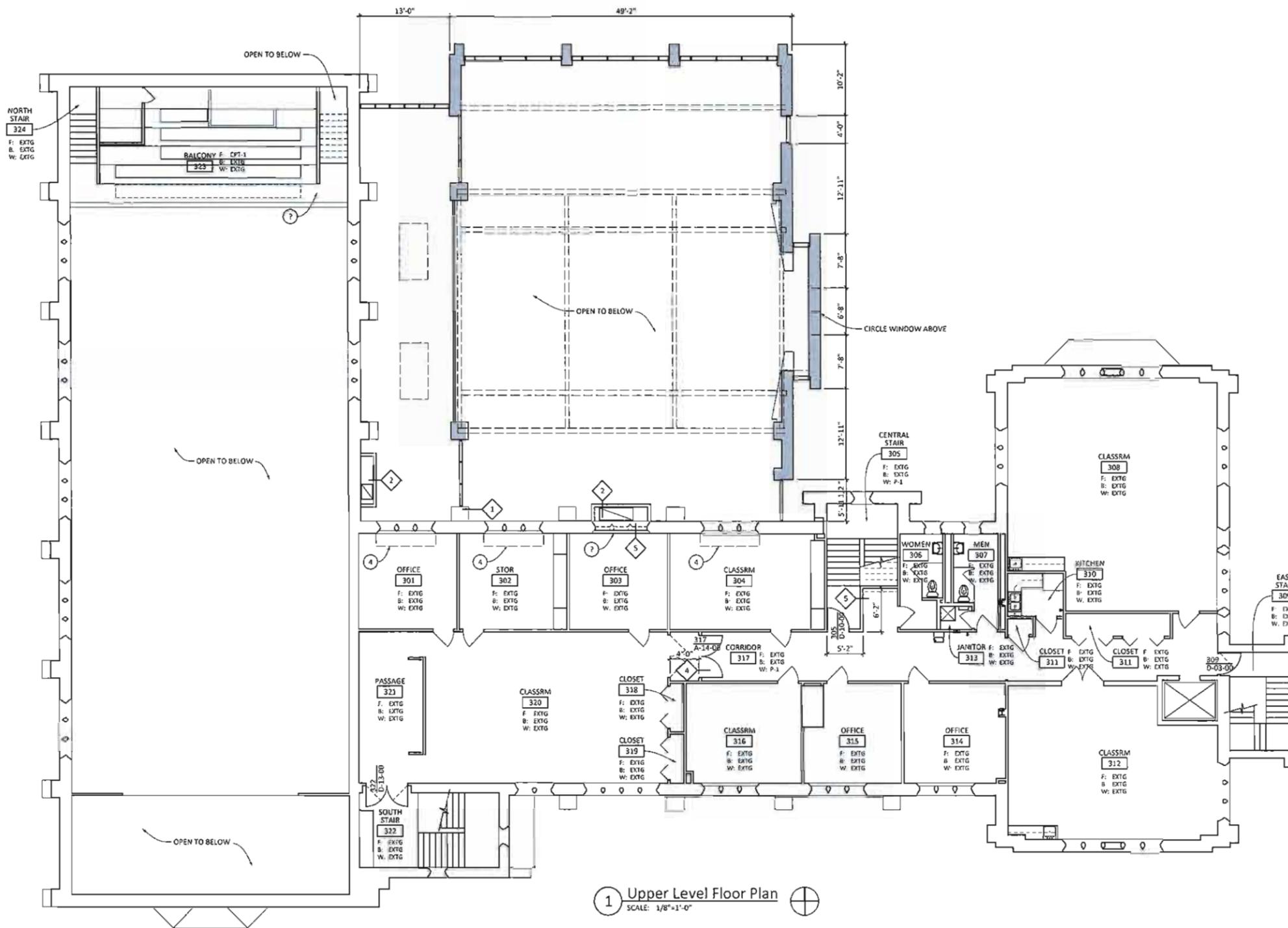
Project
Bexley United Methodist Church

3657 E. Broad Street
Bexley, Ohio 43209
Tel 614-231-2781

Project Number
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Dates
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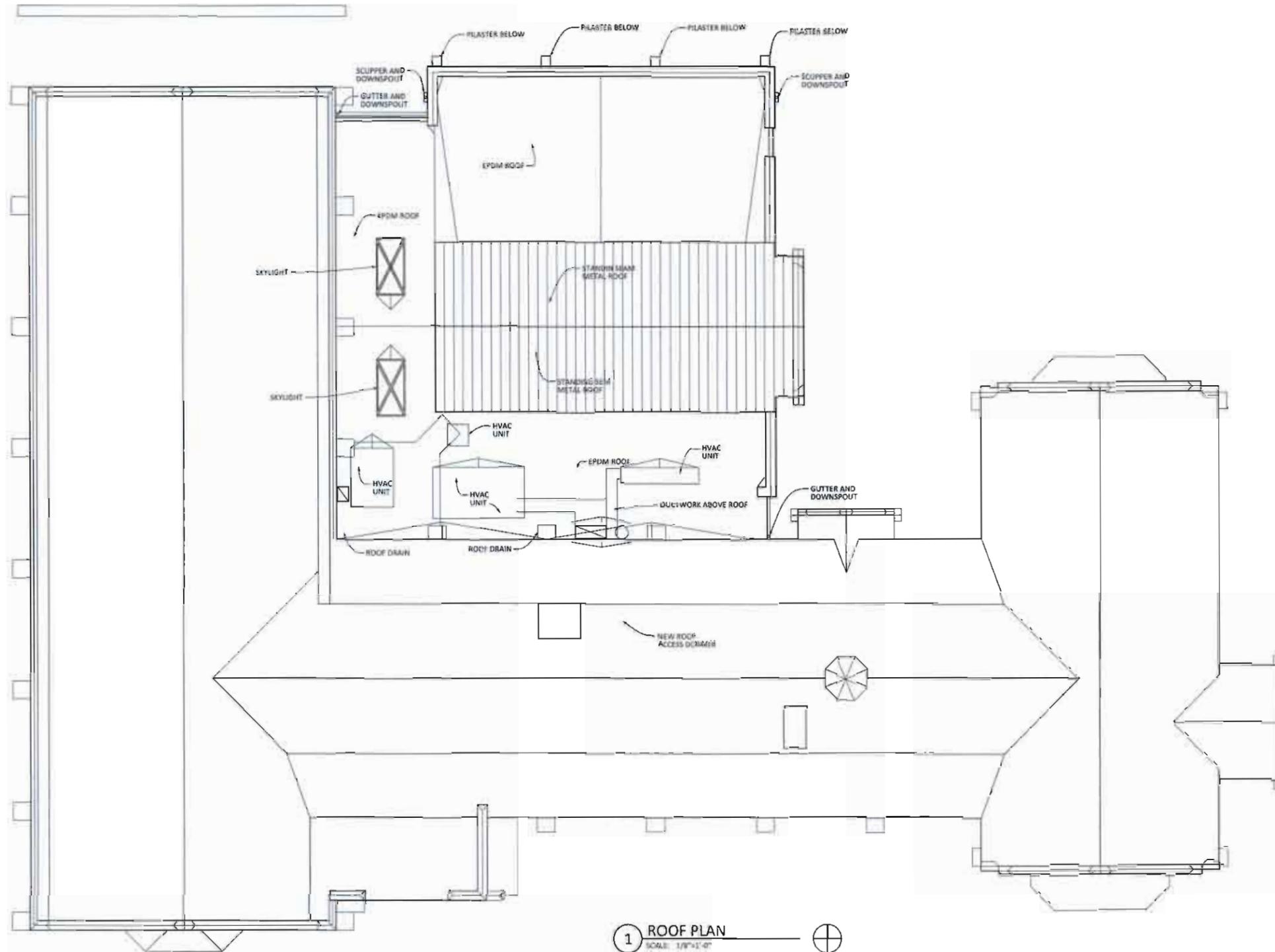
1 Upper Level Floor Plan
SCALE: 1/8"=1'-0"

Finishes	Symbols Legend	Rated Assemblies	Partition Types	① Coded Notes	General Notes	
FLOORING SHEET (LINOLEUM): LN-1 CARPET: CPT-1 WOOD: WD-1 WALLBASE RESILIENT BASE: RB-1 STONE BASE: ST-1 WOOD BASE: WB-1 WALL FINISH PAINT: P-1 STONE: ST-1 WOOD PANELING: WP-1 WOOD TRIM: WT-1	DOOR NUMBER 101 A-01-01 HARDWARE SET DOOR TYPE 000 00-00 FIRE RATING WHEN APPLICABLE (Blank = NOT RATED) (A= 20 MIN) (B= 45 MIN) (C= 60 MIN) (D= 90 MIN) DENOTES PARTITION TYPE. DENOTES WINDOW TYPE SEE SHEET A600. DENOTES DOOR TYPE. SEE SHEET A600. DENOTES EXISTING DOOR TO REMAIN.	ROOM 100 DENOTES ROOM NAME & ROOM NUMBER. DENOTES ROOM FINISHES. F: CPT-1 - Flooring B: RB-1 - Wall Base W: P-1 - Wall Finish DENOTES FINISH FLOOR ELEVATION. 100'-0" EXISTING WALL MOUNT FIRE EXTINGUISHER TO REMAIN RELOCATED EXISTING WALL MOUNTED FIRE EXTINGUISHER	2HR RATED EXTERIOR BEARING WALL UL DESIGN NO U.... (1) LAYER 5/8" TYPE X GYPSUM BOARD METAL FLOORING 6" OR 10" CMU 1" RIGID INSULATION AIR SPACE STONE VENEER 2 HR RATED FLOOR/CEILING UL DESIGN NO U.... 2" POURED IN PLACE CONCRETE SLAB 1 1/2" METAL DECK METAL FLOOR JOISTS (2) LAYER 5/8" TYPE X GYPSUM BOARD 2 HR RATED FLOOR/CEILING UL DESIGN NO U.... 2 1/2" POURED IN PLACE EXISTING CONCRETE SLAB EXISTING POURED IN PLACE CONCRETE JOISTS	1 NON-RATED 5/8" GYP BD ON BOTH SIDES 3 5/8" MTL STUDS @ 16" OC 2 NON-RATED 5/8" GYP BD ON ONE SIDE 6" MTL STUDS @ 16" OC 3 NON-RATED 5/8" GYP BD ON BOTH SIDES 6" MTL STUDS @ 16" OC 4 1 HR RATED UL DES NO U456 5/8" TYPE X GYP BD ON BOTH SIDES 3 5/8" MTL STUDS @ 16" OC (20 MIN DOORS) 5 2 HR RATED UL DES NO U411 (2) LAYERS 5/8" TYPE X GYP BD ON BOTH SIDES 3 5/8" MTL STUDS @ 16" OC (90 MIN DOORS)	1 NEW OPERABLE PARTITION 2 SWING DOOR AND HARDWARE BY OPERABLE PARTITION MANUFACTURER 3 20 MIN RATED OVERHEAD COILING COUNTER FIRE SHUTTER 4 90 MIN RATED OVERHEAD COILING COUNTER FIRE SHUTTER 5 EXISTING STONE WALL TO REMAIN 6 SIGN TYPE 'A' SEE SHEET A600 7 SIGN TYPE 'B' & 'E' SEE SHEET A600 8 SIGN TYPE 'C' & 'D' SEE SHEET A600 9 SIGN TYPE 'F' SEE SHEET A600	1. DIMENSIONS ARE AS FOLLOWS UNLESS OTHERWISE NOTED: A. EXTERIOR DIMENSIONS ARE TO THE FACE OF MASONRY. B. INTERIOR DIMENSIONS ARE TO THE FACE OF WALL SURFACE. 2. ALL INTERIOR PARTITIONS TYPES SHALL TERMINATE AT UNDERSIDE OF FLOOR OR ATTIC DECK ABOVE. 3. ALL PARTITIONS ABOVE DOORS/BORROWED LIGHTS SHALL CONFORM TO THE WALL TYPE THERE-IN.

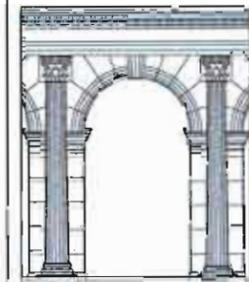
Sheet Title

Upper Level Floor Plan
Sheet

A102



1 ROOF PLAN
SCALE: 1/8"=1'-0"



Phillip Markwood Architects Inc
 240 North Fifth Street
 Suite 140
 Columbus, Ohio 43215
 Tel 614.461.8300
 Fax 614.461.8302
 www.markwoodarch.com

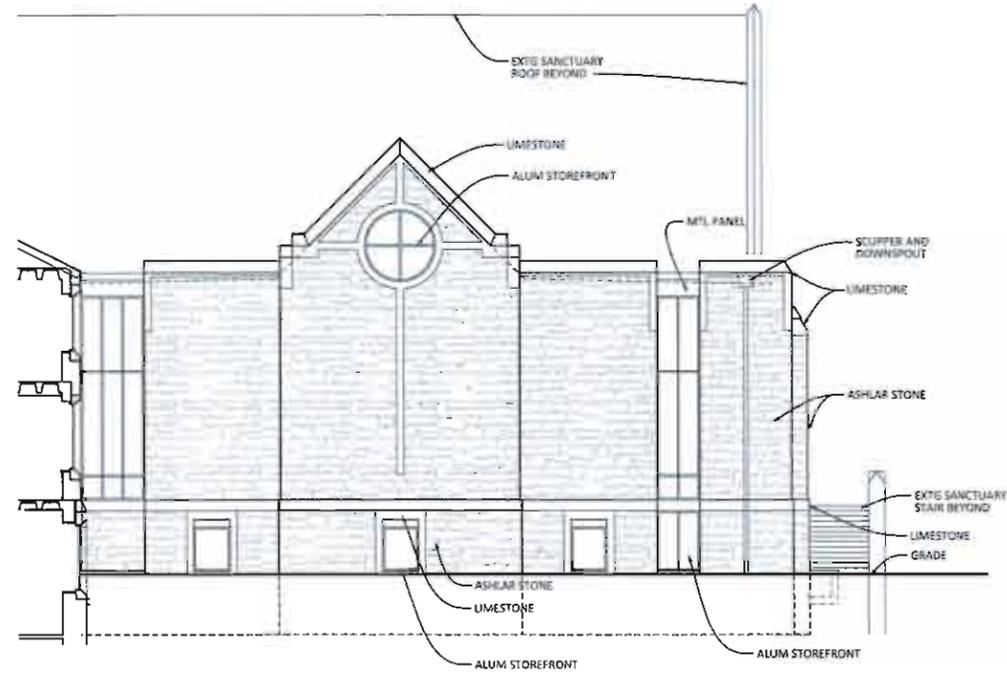
Consultant

Project
Bexley United Methodist Church
 2657 E. Broad Street
 Bexley, Ohio 43209
 Tel 614-231-2781

Project Number
 1103
 Dates
 6/22/14 into submittal

Revisions △

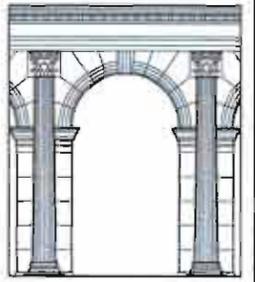
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Roof Plan
 Sheet
A103



2 East Elevation
SCALE: 1/8"=1'-0"



1 North Elevation
SCALE: 1/8"=1'-0"



Phillip Markwood Architects Inc

240 North Fifth Street
Suite 140
Columbus, Ohio 43215

Tel 614.461.8300
Fax 614.461.8302

www.markwoodarch.com

Consultant

Project
Bexley United Methodist Church

2857 E. Broad Street
Bexley, Ohio 43209
Tel 614-231-2781

Project Number
1109

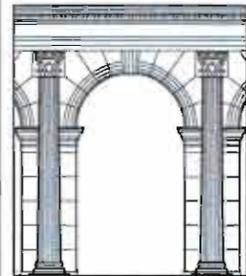
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Sheet Title

Exterior Elevations
Sheet

A300



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Architects Inc**

240 North Fifth Street
Suite 140
Columbus, Ohio 43215

Tel 614.461.8300
Fax 614.461.8302

www.markwoodarch.com

Consultant

Project

**Bexley United
Methodist Church**

2657 E. Broad Street
Bexley, Ohio 43209

Tel 614-231-2781

Project Number

1105

Dates

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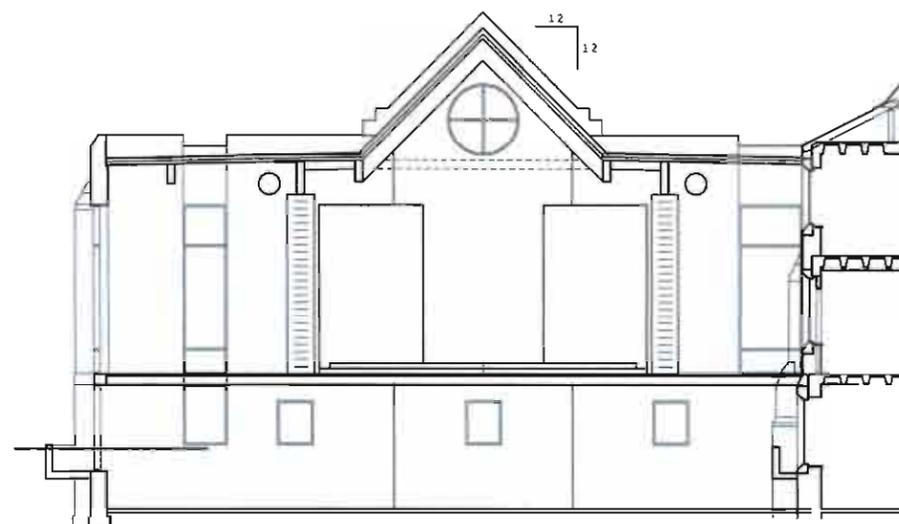
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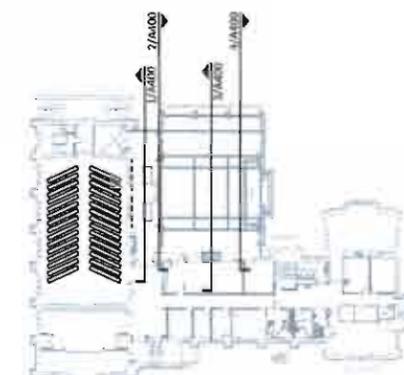
**Building
Sections**

Sheet

A400



4 Building Section
SCALE: 1/8"=1'-0"



1 Key Plan
SCALE: NTS