

PUBLIC NOTICE
CITY OF BEXLEY ARCHITECTURAL REVIEW BOARD
BOARD OF ZONING APPEALS

The Bexley Architectural Review Board will hold a Public Meeting on the following case on Thursday, May 12, 2016, at 7:00 P. M., in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The Board of Zoning Appeals hears requests for Special Permits and Appeals for Variances to the requirements of the Zoning Code, Ordinance No.8-72.

SPECIAL NOTE TO THE APPLICANT: It is important that you or your representative be present at the Public Hearing. It is a rule of the Board to withdraw an application when a representative is not present.

- a. Application No.: 16-017
Applicant: Tom Hart
Owner: Tom and Amy Hart
Location: 175 S. Ardmore Rd.
Request: The applicant is seeking architectural review and approval, to allow a new detached garage in the same location as the existing detached garage. The applicant is also seeking a variance from Bexley Code Section 1260.11 (a) which limits the size of a garage to 576sq', to allow the detached garage to be 676sq' and to 1260.11 (c) which limits a garage to 1-story in height, to allow the garage to have a 2nd floor and 21' in height. Please Note: This application was tabled at the April 14, 2016 BZA meeting.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed: 04-28-2016

Present: Carl

Board of Zoning Appeals
ARCHITECTURAL REVIEW Mtg. Date: _____

THE FINDINGS OF FACT AND CONCLUSIONS OF LAW for

Application No. 16-017

The Board finds that a Certificate of Appropriateness should be issued for

(address): 175 S. Ardmore

Noting that the: detached garage

is architecturally consistent with the existing structure _____ (and should be approved as submitted.) _____ (With the following condition / modification (s):

*Table recess until Beval ①
May 12th Beval ②
All eyes 1/able*

All major changes required by the conditions for this approval are subject to further review and approval by

_____ Motion: 1st) _____
_____ 2nd) _____
The Residential Design Consultant
The Architectural Review Board

Mr Tom Reams

VARIANCE

Based on the testimony presented, the Board finds it appropriate to grant the _____ variance from Bexley Code Section 1260.11(a) to allow a 728 sq wa 2nd floor as requested with the following modification(s):
con ① reduce the size to 624 sq'

626sq'

All minor changes to the _____, are subject to approval by the Residential Design Consultant.

April 27, 2016

Kathy Rose
Director of Building & Zoning
The City of Bexley
2242 East Main Street
Bexley, Ohio 43209

Re: Hart Garage Resubmittal for May Bexley BZA meeting – Case No. 16-017, 175 S. Ardmore Road

Director Rose:

Please find attached three copies of the plans resubmitted for the Hart garage, 175 S. Ardmore Road, application number 16-017. The garage size has been reduced to 26 x 26 or 676 square feet. The plans are scaled correctly and labeled to show siding to match the home. Garage roof pitch generally matches the roof of the original 1925 house and the surrounding garages in the immediate vicinity.

Please also note; the plans are reversible and show a garage that can be built with dormers on either the north or south elevations. My plan is to place the dormers on north elevation toward Powell Road and the greatest public view-shed as the dormers are an architectural feature.

As we discussed, I will follow up with you next week to schedule a meeting with you and the Karen Bokor to gain any additional insight or comments you may offer.

Thank you once again for your assistance.

Sincerely,



Tom Hart



CITY OF BEXLEY

614-340-7415
Tom Hart (offic)

BOARD OF ZONING APPEALS and ARCHITECTURAL REVIEW APPLICATION

Application Number 2016017V

1. Architectural Review for:

Addition Alteration New Structure (garage)
 Demolition of a Principal Structure Demolition of Garage

2. Variance For:

Principal Structure Garage Fence Other

3. Variance To: 1260 11(a) GARAGE 357. or less footprint or principal structure

Front Yard Setback Side Yard Setback Rear Yard Setback lot coverage

4. Conditional Use For: _____ Home Occupation _____ sq.' / height of structure

5. LOCATION 175 S. Ardmore Road Zoning District R-6

6. OWNER Tom and Amy Hart Phone # 340-7415 or Cell # 441-5174

* If Applicant is NOT owner, a letter must be submitted giving applicant permission to represent the owner's review request.

7. Applicant Tom Hart E-mail thart@ismacw.com Phone # same or Cell# same

Address 175 S Ardmore /City, State, Zip Bexley 43204

8. Brief Description of Request and/or Variance Demolition of existing garage and replacement of garage w/ 1 1/2 story
variance of 1260.11(a)

9. Valuation of Project \$ 25,000

• APPLICATION REVIEW FEES, (based on valuation of the project): \$ 100.00
\$90.00 – up to the first \$10,000 valuation. And \$5.00 for each additional \$10,000 valuation w/\$600 cap.
(Re-submittal fee \$50.00)

• VARIANCE REVIEW FEES:
Single Family \$100.00; Fences or Special Permit \$65.00; All others \$90.00 + 100.00

• SIGNATURE Tom Hart /DATE 3-10-2016

Fee: based on valuation \$ 100
Fee: based on variance \$ 100
Other \$ _____
TOTAL FEE DUE \$ 200.00

**Be advised, if the Board or Staff decides it needs the services of an independent expert (example: architect, landscape architect; planner; civil, environmental or traffic engineer; legal counsel, etc.) to assist it, it shall designate the person to be consulted and the cost of consultation thereof shall be paid by the Applicant in addition to the review filing fees. (Ord. 54-11)

• LOT INFORMATION

Address 175 S. Ardmore Rd. Zoning District R-6
Lot Width 43 ft Depth 142 ft Total Area 6106 sq ft
Existing Residence (foot print) 1220.5 sq ft Garage 333.1 sq ft
Existing Building Height _____ one-story two-story

Proposed Addition (foot print) N/A sq ft N/A Height N/A one-story _____ two-story
Proposed Garage 728 sq.ft. 21'6" Height _____ one-story _____ two-story 1 1/2 story
Permitted Lot Coverage 35 % = 2137.1 sq ft
Lot to be covered 31.9 % = 1948.5 sq ft

Please submit a **SITE PLAN**, which gives the setback from all existing structures to front, side and rear property lines. Indicate proposed addition or proposed structure and indicate how far it is setback from the front, side and rear property lines. Also include the distance between the principal structure and detached garage.

• ARCHITECTURAL INFORMATION

Architect and/or Residential Designer Karl Billisits, P.E.
Contractor/Builder MIKE WILSON, TOTAL CLEANING, LLC
Preliminary Review Final Review _____

• DESCRIPTION OF CHANGES PROPOSED Denotation of existing
18 x 18 garage and replacement of garage w/
storage.

• DESCRIPTION OF ANY EXTENUATING CIRCUMSTANCES TO BE CONSIDERED
House footprint is small (SEE ATTACHED)
MARRADO

Please indicate: the existing materials and the proposed changes of exterior materials to be used in the completion of your design project. Check all that apply in each category below:

• **ROOFING** House Only / Garage Only / House & Garage
1. Existing Roof Type: _____
____ Slate _____ Clay Tile _____ Wood Shake _____ Standard 3-Tab Asphalt Shingle
 Architectural Dimensional Shingles _____ EPDM (rubber) Roofing _____ Metal
2. New Shingle Manufacturer: 20 year dimensional
3. New Roofing Type, Style & Color: Gray/Black, dimensional

• WINDOWS

1. Existing Window Style:

Casement Double Hung Horizontal Sliding Awning
 Fixed Exterior Storm Other: NONE IN GARAGE

2. Existing Window Materials:

Wood Vinyl Vinyl Clad Wood Aluminum Clad Wood
 Aluminum Metal Other: NONE IN GARAGE

3. New Window Manufacturer: Allside Vinyl Clad windows (single hung)

4. New Window Style, Material & Color: match house color to match house style, vinyl clad

• DOORS

Existing Exterior Doors (Accurately indicate door style on exterior elevations of drawings)

1. Entrance Door Type Wood Insulated Metal Fiberglass
 Sidelights Transom Window

2. Garage Door Type Wood Insulated Metal Fiberglass
Wayne Dalton - paneled

3. Door Finish Stained Painted
 Proposed Door Type Service Door ThermoTru / Style G-Panel Color match house
STEEL

• EXTERIOR WALL FINISHES

TYPE		Manufacture, Style, Color
Existing	Proposed	
()	()	Natural Stone
()	()	Cultured Stone
()	()	Brick
()	()	Mortar
()	()	Stucco
()	()	Wood Shingle
()	()	Wood Siding
()	()	Vinyl Siding
()	()	Aluminum Siding
()	(X)	Other <u>Hardi - plank</u> <u>Shake Shingles</u>

• EXTERIOR TRIM

1. Existing Door Trim:
 Cedar Redwood Pine Vinyl
 Wood composite Aluminum Clad Molding
 Standard lumber Profile Other: _____

2. Existing Window Trim:
 Cedar Redwood Pine Vinyl
 Wood composite Aluminum Clad Molding
 Standard lumber Profile Other: _____

3. Proposed NEW Door Trim: Hardi - plank - cementious

4. Proposed NEW Window Trim: Hardi - plank - cementious

5. Trim: Color(s): match house

** Do the proposed changes affect the overhangs? NEW garage w/ new eaves

• **DECKS**

EXISTING:

1. Existing Decking Materials
___ Cedar Pressure-treated wood ___ Wood/Plastic Composite
___ Other _____
2. Existing Railing Materials
___ Cedar ___ Pressure-treated wood ___ Wood/Plastic Composite
___ Other _____

PROPOSED:

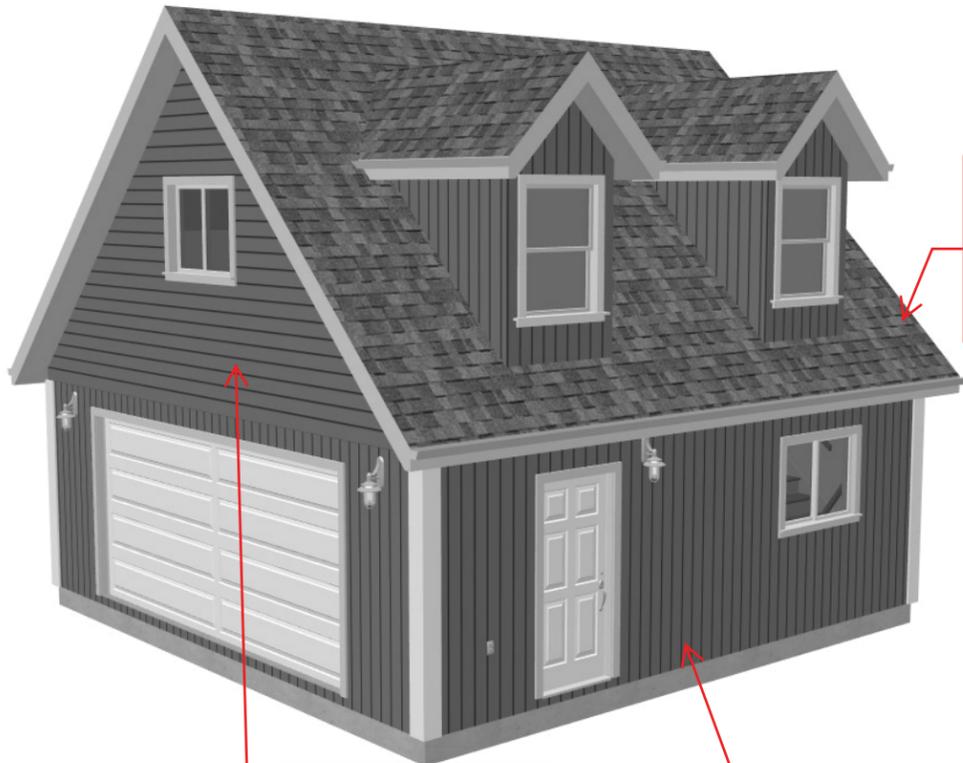
3. Proposed Decking Materials *N/A*
___ Cedar ___ Pressure-treated wood ___ Wood/Plastic Composite
___ Other _____
4. Proposed Railing Materials
5. Existing Railing Materials
___ Cedar ___ Pressure-treated wood ___ Wood/Plastic Composite
___ Other _____

----- TO BE COMPLETED BY RESIDENTIAL DESIGN CONSULTANT -----

Date of Review _____ Approved By _____

To be reviewed by the BZA on: _____

Conditions / Stipulations: _____



shingles to be 20yr dimensional shingles same as on existing garage being removed

siding to match shake siding of existing home

siding to match existing home shake siding

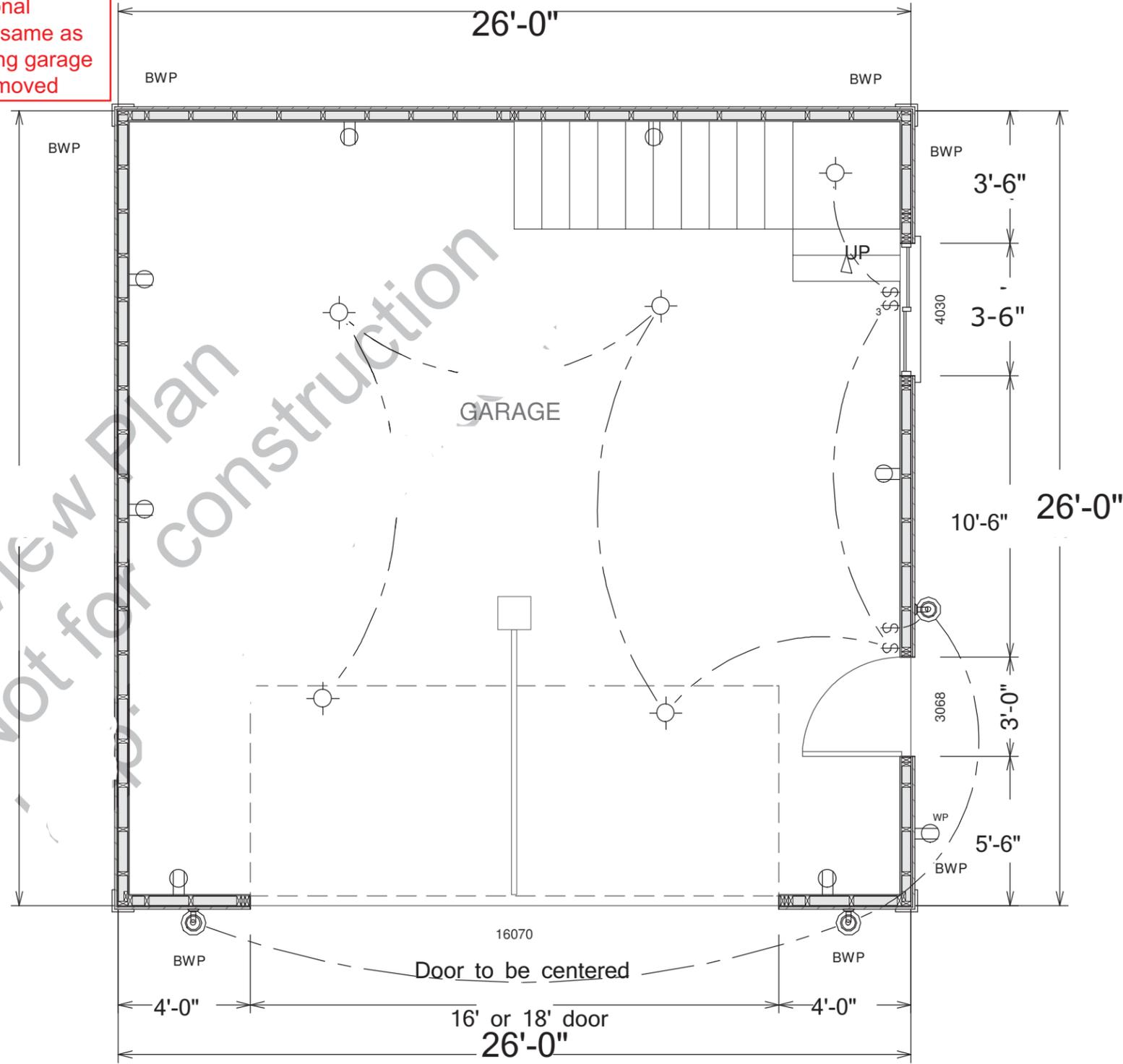
30 year dimensional shingles and structural panel siding running vertical with 8" on center groove and horizontal siding in eaves. Nailing schedule is 6" on ends 12" on centers 6d nails. Trusses are engineered on trusses 24" o.c. and framing is 2" x 4" on 16" centers. 9' ceiling height, Floating mono slab on compacted gravel.

BUILDING CONTRACTOR/HOME OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS, AND CONNECTIONS BEFORE CONSTRUCTION BEGINS. GARAGE TO BE BUILT AS PER IRC UBC OR CURRENT LOCAL CODE

To the best of my knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's exence and responsibility. The contractor shall verify all dimensions and enclosed drawing. SDSCAD is not liable for errors once construction has begun. While every affort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter. All calculations and member sizing should be verified for your building by a certified building official.

#G527 8' Garage Plan with Loft and Dormers

Page 1	Title Main Floor Plan
Page 2	Elevation Views
Page 3	Foundation Plan & Pictorials
Page 4	Framing and Details
Page 5	Detail Page
Page 6	Materials List



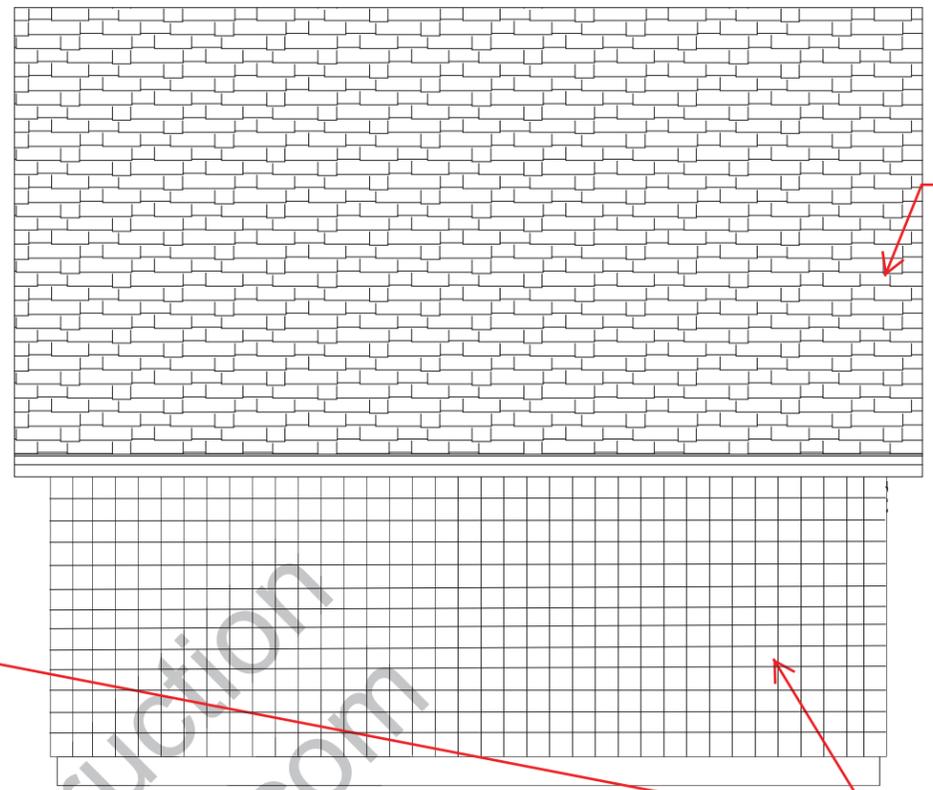
GARAGE MAIN FLOOR PLAN



CLIENT _____
 DATE _____
 DRAWN BY _____
 CHECKED BY _____
 DATE _____
 REVISIONS _____
 JOB NO. _____
 SHEET NO. 1 OF 6



Existing siding and
downspout on
home; color, style
and materials to
match

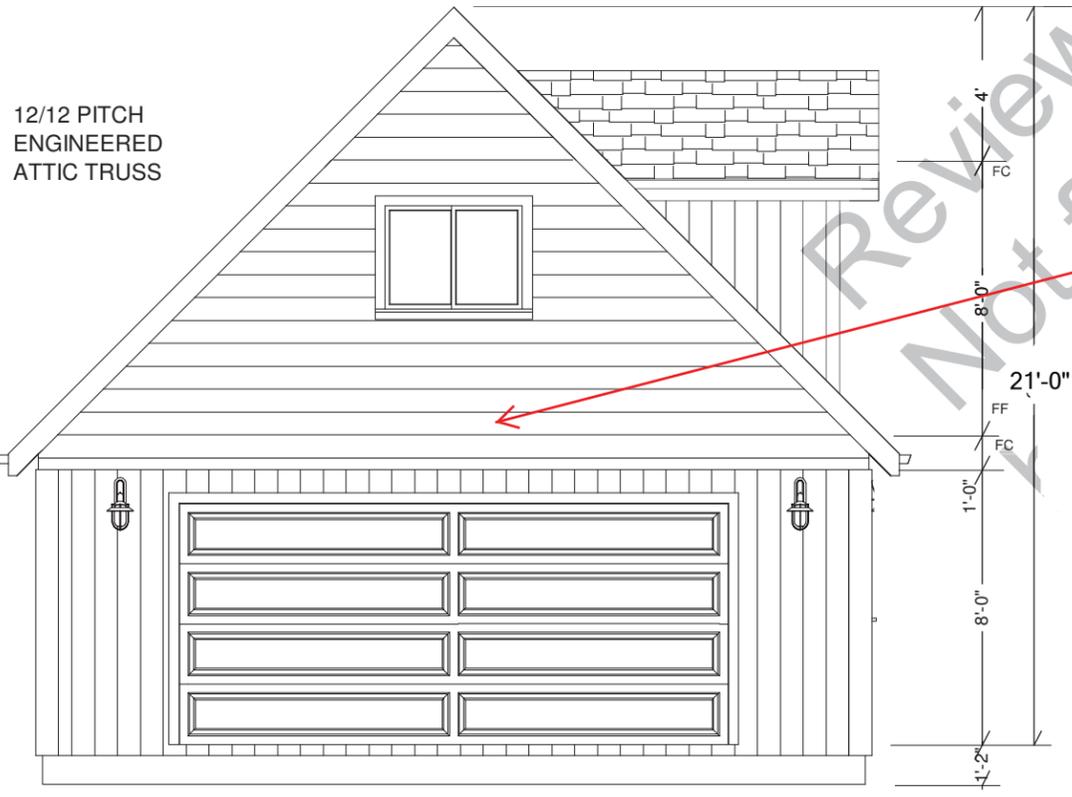


shingles to be 20
year dimensional
shingles

EAST ELEVATION

SOUTH ELEVATION

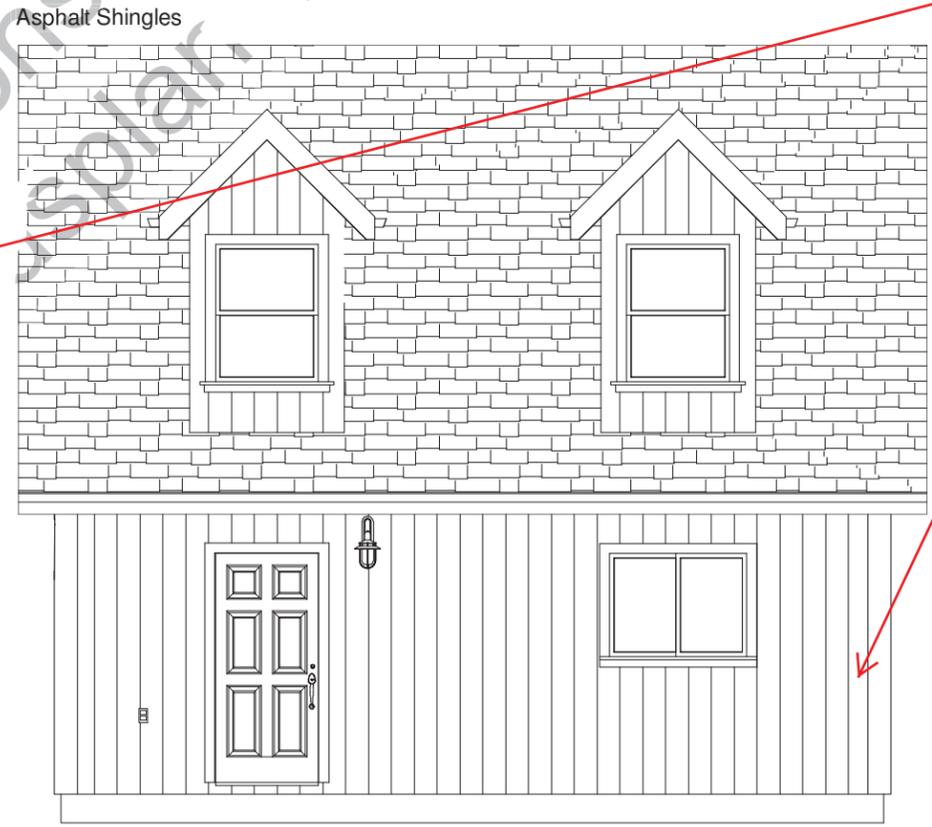
siding to match
existing home
shake siding



12/12 PITCH
ENGINEERED
ATTIC TRUSS

8' Tall 2 x 4 Walls
Structural Panel
Structural Siding

WEST ELEVATION



Asphalt Shingles

NORTH ELEVATION

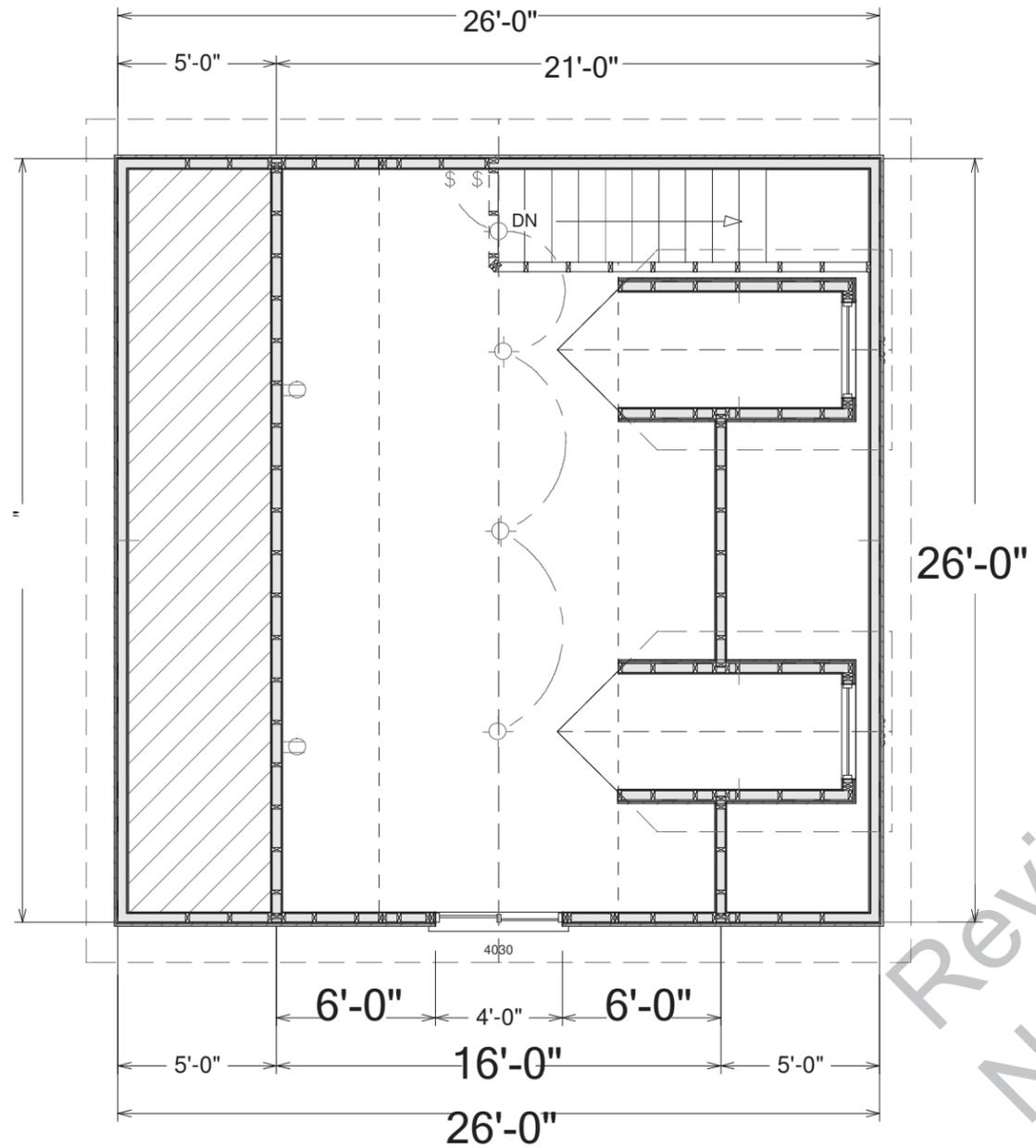
SCALE
3/16"=1'

Review Plan
Not for construction
Asplar.com

Residential Design



CLIENT	
DATE	
DRAWN BY	
CHECKED BY	
DATE	
REVISIONS	
JOB NO.	
SHEET NO.	2
OF	6



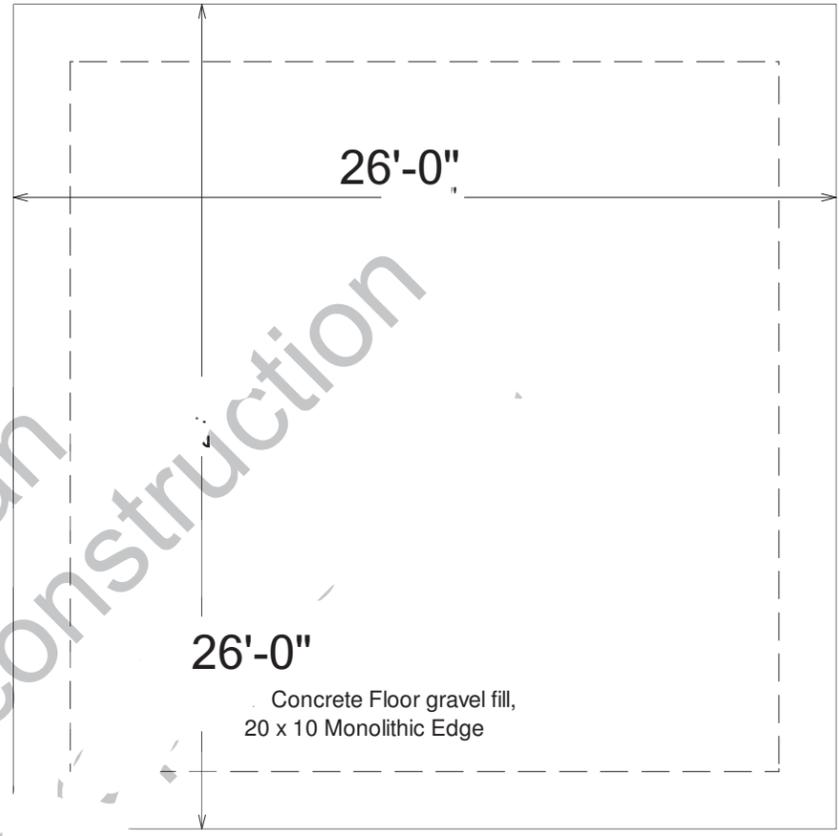
ATTIC STORAGE PLAN

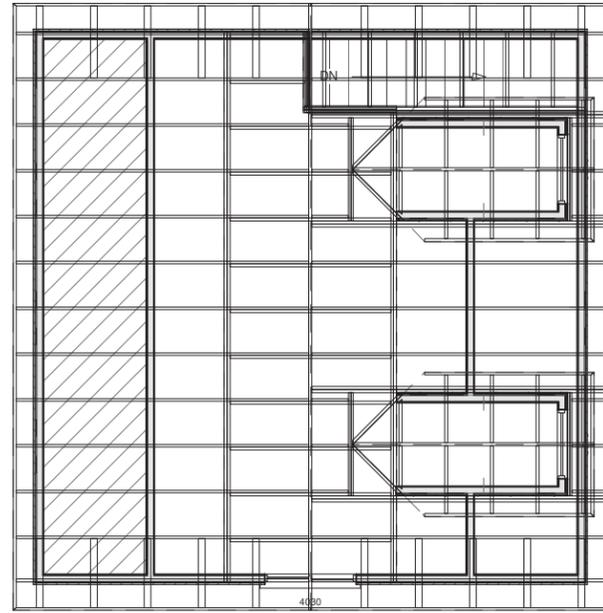


FOUNDATION PLAN

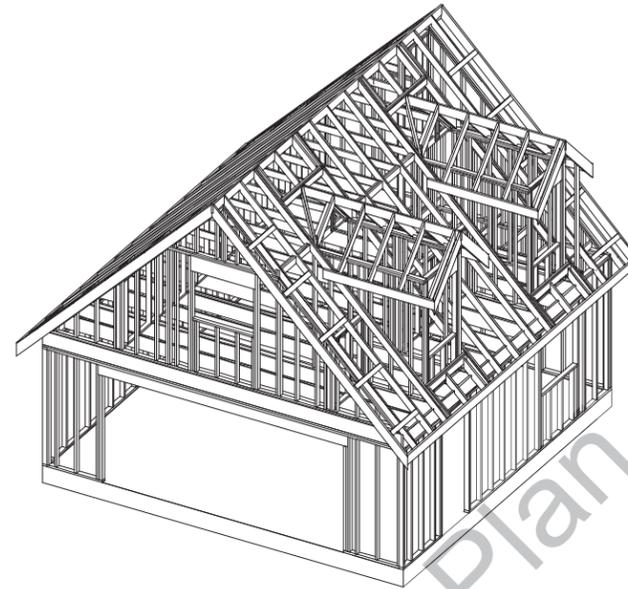
Concrete:

1. All slabs are to be 4" concrete over 4" gravel unless otherwise noted on the plans.
2. Concrete to be ACI 301-66, Type II cement, 2500 psi at 28 days, 5" maximum slump.
3. Reinforcing to be ASTM A615-Bars with $F_y=60$ ksi and 30 diameter minimum at splices or weld per ACI Std.
4. Concrete design based on F_c 2000 psf, F_c 2500 psi for quality only.
5. Anchor bolts shall be A-307 embedded 7" minimum into concrete or masonry grout.
6. All footings minimum 24" below final grade





GARAGE ROOF PRE-ENGINEERED ATTIC TRUSSES AS SUPPLIED BY TRUSS MANUFACTURER 24" O.C.



General framing: (Douglas Fir)

1. Minimum header sizes shall be according to the following table unless otherwise noted. Header sizes (single story construction)
 - 2'-0" to 4'-0" Span 2-2x4's
 - 4' + to 6'-0" Span 2-2x6's
 - 6' + to 8'-0" Span 2-2x8's
 - 8' + to 10'-0" Span 2-2x10's
 - 10' + to 12'-0" Span 2-2x12's or as noted on plan
2. Brace all exterior walls and cross-stud partitions at each end of building and at least every 25' of length by one of the following:
 - a. Simpson WB 126 wall bracing with 3-16d nails at each end and 1-8d nails at each stud.
 - b. Plywood sheathing of a minimum thickness of 7/16 inch.
3. Fire stopping:
 - a. Fireblock stud spaces over 10' in height, furred spaces, soffits, drop ceilings, cove ceilings, stair stringers at top and bottom of run, bearing walls and ceiling joist lines, etc. Firestopping shall consist of 2" nominal lumber.
 - b. Firestop openings around vents, pipes, ducts, chimneys, and fireplaces at ceiling and floor levels with approved noncombustible materials.
4. CDX plywood is not approved where exposed to weather, i.e., roof overhangs.
5. Exterior wall framing to be 2"x4" studs at 16" o.c. Interior wall, framing at non-bearing walls to be 2"x4" studs at 24" o.c. and at bearing walls 2"x4" studs at 16" o.c. with double top plate.
6. Shear wall to be 7/16" Sheathing, see detail.
7. All stress grade lumber shall comply with WCLA specs and bear approval stamp on all pieces in place.
8. Framing lumber shall be Douglas Fir construction grade Fb 1450 or better unless otherwise noted.
9. Nailing to be per current U.B.C. unless otherwise noted.
10. All bearing partitions shall have double top plates.
11. Structural glued laminated timbers to be stamped by an approved agency.
12. Use redwood or pressure treated sole plates at all exterior walls.

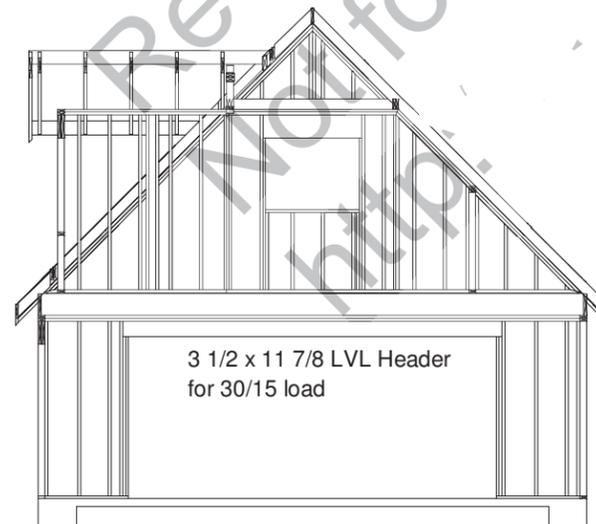
Roof Framing:

1. Fascia to be 2"x Douglas Fir.
2. For soffit size see details.
3. For spans and dimensions refer to floor plans.
4. Trusses are to be an approved truss design from the truss manufacturer's engineer.
5. Use Simpson H-1 hurricane anchors at each truss or rafter to wall connection.
6. Solid blocking required between joists, rafters, and trusses over all bearing walls. Such blocking shall be 1 1/2" minimum thickness and full depth of joists, rafters, or trusses.
7. Minimum header sizes shall be according to the header size table unless otherwise noted.
8. Basis of design roof live/snow load of 37 psf, and roof dead load of 15 psf.
9. Plywood roof decking to be Min 1/2" thick, 24/0, CDX or 5/8 wafer.



Cross Section

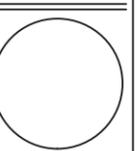
8' Tall 2 x Walls



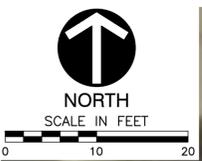
Front Wall

WALL FRAMING SECTIONS

SCALE 1/8"=1'



CLIENT	
DATE	
DRAWN BY	
CHECKED BY	
DATE	
REVISIONS	
JOB NO.	
SHEET NO.	4 OF 6



ZONING INFORMATION

PARCEL ID 020-000886-00
 EXISTING ZONING R6 HIGH DENSITY SINGLE FAMILY
 PROPOSED ZONING R6 HIGH DENSITY SINGLE FAMILY (NO CHANGE)
 VARIANCES REQUESTED
 (a) PERMIT THE FOOTPRINT OF AN ACCESSORY STRUCTURE TO BE INCREASED FROM 35% TO 55.3% OF THE FOOTPRINT OF THE PRINCIPAL STRUCTURE
 (b) TO PERMIT THE HEIGHT OF AN ACCESSORY STRUCTURE TO BE INCREASED FROM ONE STORY IN HEIGHT TO ONE AND A HALF STORIES IN HEIGHT

SITE COVERAGE CALCULATIONS

TOTAL SITE	6106.0 SQFT	100.0%
EXISTING HOUSE FOOTPRINT	1220.5 SQFT	20.0%
EXISTING GARAGE	333.1 SQFT	5.4%
EXISTING SITE COVERAGE	1553.6 SQFT	25.4%
EXISTING HOUSE FOOTPRINT	1220.5 SQFT	20.0%
PROPOSED 1 1/2 STORY GARAGE	676.0 SQFT	11.1%
PROPOSED SITE COVERAGE	1896.5 SQFT	31.1%
PERMITTED SITE COVERAGE	2137.1 SQFT	35.0%

VARIANCE CALCULATIONS

EXISTING GARAGE FOOTPRINT	333.1 SQFT
PERCENTAGE OF FOOTPRINT OF PRINCIPAL USE	27.3%
PROPOSED (1 1/2 STORY) GARAGE	676.0 SQFT
PERCENTAGE OF FOOTPRINT OF PRINCIPAL USE	55.3%



ISSUE	DATE	DESCRIPTION	PROJECT NUMBER	DATE	MARCH 2016

HARMONY DEVELOPMENT GROUP
HART GARAGE
 175 SOUTH ARDMORE ROAD
 BEXLEY, OH 43209

HART GARAGE

FILENAME		SHEET
SCALE	1"=10'	1 OF 1

